

AGENDA

1. **CALL TO ORDER AND ROLL CALL**
2. **APPROVAL OF MINUTES**
 - A. **January 21, 2020 Regular Meeting Minutes** 3 - 6
[01-21-2020 PZC Minutes-Draft](#)
3. **ZONING AGENT REPORT**
 - A. [Zoning Permits Issued 01-30-2020](#) 7
 - B. [Zoning Violation Report 01-30-2020](#) 8
4. **OLD BUSINESS**
 - A. **Application of the Taylor Family Trust (owner/applicant) to amend the Zoning Map to change the zoning of a portion of property located on the north side of Storrs Road, between 9 Timber Drive and 1768 Storrs Road (Parcel ID 2.5.22) from Rural Agriculture Residence 90 (R-90) and Professional Office 1 (PO-1) to Planned Business 3 (PB-3). (PZC File 1365)**

Tabled to February 18, 2020 Public Hearing.
 - B. **Application of the Mansfield Non-Profit Housing Development Corporation (owner/applicant) to amend the Zoning Map to change the zoning of property located at 113-121 South Eagleville Road (Parcel ID 16.57.5) from Rural Agriculture Residence 90 (RAR-90) to South Eagleville Road Housing Opportunity Zone (SER-HO) pursuant to Sec. 8-30g, C.G.S. (PZC File 1364-1)**

Tabled to March 2, 2020 Public Hearing.
 - C. **Site plan application of the Mansfield Nonprofit Housing Development Corporation (owner/applicant) for a 42 unit multi-family residential development at 113-121 So. Eagleville Road (Parcel ID 16.57.5) pursuant to Sec. 8-30g, C.G.S. (PZC File 1364-2)**

Tabled to March 2, 2020 Public Hearing.
5. **NEW BUSINESS**

A. Historic Village Review: Proposed Drainage Improvements at the Mansfield Historical Society, 954 Storrs Road (Spring Hill Historic Village)

[Agenda Item Report-Proposed Drainage Improvements at 954 Storrs Road](#)

[H-0056 Updated Project Description-January 2020](#)

[H-0056 Project Sign Requirements-Historic Restoration Fund Grant](#)

[H-0056 Grading and Drainage Plan](#)

[H-0056 Details and Specifications](#)

[H-0056 Museum Buildings History](#)

6. REPORTS FROM OFFICERS AND COMMITTEES

A. Chairman's Report

B. Regional Planning Commission

C. Regulatory Review Committee

D. Planning and Development Director's Report

E. Other Committees

F. Other

7. COMMUNICATIONS AND BILLS

A. Communication from Toivo Kask re: Design

29

[January 29, 2020 Email from Toivo Kask](#)

8. ADJOURNMENT

MINUTES (Draft)

Members Present:	P. Aho, B. Chandy, L. Cooley, C. Cotton, D. Plante, K. Rawn, V. Ward
Members Absent:	S. Accorsi, R. Hall
Alternates Present:	J. DeVivo, K. Fratoni
Staff Present:	L. Painter, Director of Planning and Development; J. Woodmansee, Planning Specialist; E. Galbraith, Administrative Assistant

CALL TO ORDER AND ROLL CALL

Chair Aho called the meeting to order at 6:41 p.m. Members present are Aho, Chandy, Cooley, Cotton, Plante, Rawn, and Ward. Alternates DeVivo and Fratoni are seated for absent members.

APPROVAL OF MINUTES

Cooley stated that she watched the recording of the January 6, 2020 PZC meeting.

Rawn MOVED, Chandy seconded, to approve the January 6, 2020 meeting minutes as presented. Motion PASSED unanimously.

ZONING AGENT REPORT

None.

PUBLIC HEARINGS

A. Application of the Mansfield Nonprofit Housing Development Corporation (owner/applicant) to amend the Zoning Map to change the zoning of property located at 113-121 South Eagleville Road (Parcel ID 16.57.5) from Rural Agriculture Residence 90 (RAR-90) to South Eagleville Road Housing Opportunity Zone (SER-HO) pursuant to Sec. 8-30g, C.G.S. (PZC File 1364-1)

Aho opened the public hearing at 6:43 p.m. Members present are Aho, Chandy, Cooley, Cotton, Plante, Rawn, and Ward. Alternates DeVivo and Fratoni are seated for absent members.

Ward MOVED, Fratoni seconded, to adjourn the public hearing on the Zoning Map Amendment application (PZC File 1364-1) of the Mansfield Nonprofit Housing Development Corporation to change the zoning of property located at 113-121 South Eagleville Road to Monday, March 2, 2020 at 6:45 p.m. in the Council Chambers of the A.P. Beck Municipal Building. Motion PASSED unanimously. The public hearing was closed at 6:46 p.m.

B. Site plan application of the Mansfield Nonprofit Housing Development Corporation (owner/applicant) for a 42-unit multifamily residential development at 113-121 South Eagleville Rd (Parcel ID 16.57.5) pursuant to Sec. 8-30g, C.G.S. (PZC File 1364-2)

Aho opened the public hearing at 6:46 p.m. Members present are Aho, Chandy, Cooley, Cotton, Plante, Rawn, and Ward. Alternates DeVivo and Fratoni are seated for absent members.

Cotton MOVED, Rawn seconded, to adjourn the public hearing on the Site Plan application (PZC File 1364-2) of the Mansfield Nonprofit Housing Development Corporation for a multi-family development at 113-121 South Eagleville Road to Monday, March 2, 2020 at 6:50 p.m. in the Council Chambers of the A.P. Beck Municipal Building. Motion PASSED unanimously. The public hearing was closed at 6:50 p.m.

OLD BUSINESS

A. Modification to Special Permit: Application of Wendy and Dudley Hamlin (owner/applicant) of Holiday Hill Day Camp & Recreation Center, 41 Chaffeeville Road, Mansfield Center to convert existing vacant home on property to Airbnb lodging for wedding and party venue customers. (PZC File 0056)

Painter presented an overview of the requested modification.

Ward MOVED, Plante seconded, to authorize the Zoning Agent and PZC Chair to approve the application of Wendy and Dudley Hamlin to modify the Special Permit for the Holiday Hill Day Camp and Recreation Center at 41 Chaffeeville Road for use of a house on the property as a short term rental as specified in application materials. This approval is granted subject to the condition that the owners obtain and maintain a rental certificate pursuant to Chapter 130 of the Mansfield Code of Ordinances. Motion PASSED unanimously.

B. Interpretation of Zoning Regulations: Articles 10, Section T, Agricultural Uses

Painter updated the Commission on the Agriculture Committee's review of the question as to what constitutes a "pen" as opposed to a "pasture" and read excerpts from the Agriculture Committee minutes as well as a UNH Extension document referenced by the Agriculture Committee.

Cooley MOVED, Fratoni seconded, to direct Zoning Agents to use the following characteristics of an animal pen in determining whether a fenced enclosure is a pen or a pasture pursuant to Article 10, Section T.3.5.a:

- Characteristics of an animal pen: an enclosure where animals are housed permanently, fed, watered and in which the fencing is not moved in a regular manner.

Motion PASSED unanimously.

C. PZC-Initiated Amendments to Articles 7, 8 and 10 of the Mansfield Zoning Regulations related to owner-occupancy requirements for two-family and

efficiency dwelling units and setback requirements for parking associated with parks, preserves and playgrounds. (P907-47)

Chandy MOVED, Plante seconded, to change the effective date from January 15, 2020 to February 1, 2020 for the amendments to Articles 7, 8 and 10 of the Mansfield Zoning Regulations related to owner-occupancy requirements for two-family and efficiency dwelling units and setback requirements for parking associated with parks, preserves and playgrounds that were adopted on January 6, 2020. Motion PASSED unanimously.

D. Application of the Mansfield Non-Profit Housing Development Corporation (owner/applicant) to amend the Zoning Map to change the zoning of property located at 113-121 South Eagleville Road (Parcel ID 16.57.5) from Rural Agriculture Residence 90 (RAR-90) to South Eagleville Road Housing Opportunity Zone (SER-HO) pursuant to Sec. 8-30g, C.G.S. (PZC File 1364-1)

Tabled to March 2, 2020 Public Hearing.

E. Site plan application of the Mansfield Nonprofit Housing Development Corporation (owner/applicant) for a 42 unit multi-family residential development at 113-121 So. Eagleville Road (Parcel ID 16.57.5) pursuant to Sec. 8-30g, C.G.S. (PZC File 1364-2)

Tabled to March 2, 2020 Public Hearing.

F. Application for Site and Building Modifications to the Spring Hill Inn on property located at 957 Storrs Road (Parcel ID 23.59.12), Lee Lambert, owner/applicant.

Tabled at the request of the applicant.

G. Application of the Taylor Family Trust (owner/applicant) to amend the Zoning Map to change the zoning of a portion of property located on the north side of Storrs Road, between 9 Timber Drive and 1768 Storrs Road (Parcel ID 2.5.22) from Rural Agriculture Residence 90 (R-90) and Professional Office 1 (PO-1) to Planned Business 3 (PB-3). (PZC File 1365)

Tabled to February 18, 2020 Public Hearing.

NEW BUSINESS

None.

REPORTS FROM OFFICERS AND COMMITTEES

Chairman's Report

None.

Regional Planning Commission

None.

Regulatory Review Committee

Aho noted that the next meeting is scheduled for Friday, February 7, 2020.

Planning and Development Director's Report

Painter noted that the terms of current Design Review Panel members have expired; however, by Town regulation, they continue to serve until they are reappointed or replaced. By consensus, the Commission requested that staff ask current members if they are interested in continuing to serve on the committee. If any members are not interested in continuing, staff will conduct outreach to find a replacement based on the member's field of expertise.

Other Committees

None.

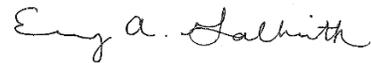
COMMUNICATIONS AND BILLS

None.

ADJOURNMENT

Aho adjourned the meeting at 7:11 p.m.

Respectfully Submitted:



Emmy A. Galbraith
Administrative Assistant

Case Number	Planning Type	Subcases	Primary Case Address	Status	Description of Work	Date Started	Issued Date	ID
Z-20-0003	Zoning	Sign	1019 STAFFORD RD STORRS, CT 06268 (14.26.4)	Issued	putting up new sign, and new light fixtures. there is an existing sign that will come down, we are using existing sign pole and there is already electricity running to the pole.	01/13/2020	01/22/2020	443
Z-20-0002	Zoning	Addition	44 HANKS HILL RD STORRS, CT 06268 (16.62.61)	Issued	We are planning to projects: 1) An approximately 400 square foot addition to our house to provide a downstairs bathroom and storage other than in the attic. This is to allow us to "age in place". This addition replace and enlarge the existing one story bump out on side east side and will be farther from the property line than the existing house. See attached plot plan 2) Replacing the shed labeled old shed on the plot plan. Our plan is to have a more useful shed larger than the existing 12 x 12. We intend to position the shed differently to allow for solar panels to provide low voltage lights and charging of the lawn mower batteries.	01/09/2020	01/25/2020	442
Z-20-0001	Zoning	Garage	85 COVENTRY RD MANSFIELD CENTER, CT 06250 (27.78.2)	Issued	Add second floor to existing home and add 15' x 26' garage bay	01/07/2020	01/25/2020	441
Z-19-0345	Zoning	Deck	247 HANKS HILL RD STORRS, CT 06268	Issued	3.5 foot by 7 foot landing outside an existing sliding patio door with a 3.5 foot wide set of stairs to the ground level.	12/04/2019	01/06/2020	438
Z-19-0319	Zoning	Sign	34 WILBUR CROSS WAY MANSFIELD, CT 06268 (16.41.13.10A)	Issued	Outdoor sign	09/05/2019	01/25/2020	400
Total Records: 5								

ZONING PERMITS ISSUED 01/01/2020 - 01/30/2020

Subcases	Case Nmbr	Case Name	Number	Street	Status
Junkyard	V-18-0015	Cider Mill Road-junk yard		CIDER MILL RD	Active
Blight /property maintenance	V-19-0033	15-17 Stafford Road	15	STAFFORD RD	Under Investigation
Illegal Use	V-19-0045		17	OLSEN DR	Under Investigation
Animals	V-19-0030		170	CRANE HILL RD	Active
Illegal Use	V-19-0052	Complaint	1728	STAFFORD RD	Under Investigation
Work without a Permit	V-19-0047	Bridge	28	MEADOWOOD RD	Active
Junkyard	V-20-0006		34	WARRENVILLE RD	Under Investigation
Junkyard	V-20-0005		35	WARRENVILLE RD	Under Investigation
Over occupancy	V-19-0046	Complaint	5	MOUNTAIN RD	Under Investigation
Junkyard	V-19-0022	684 Browns Road	684	BROWNS RD	Active
Fencing/Property Line	V-19-0048	Violation	873	STAFFORD RD	Active
Total Records: 11					

Pending Zoning Violations 01/30/2020

Active = Action taken

Under Investigation = Still investigating matter

MEMO

To: Planning and Zoning Commission
From: Linda Painter, AICP, Director
Date: January 30, 2020
Subject: Historic Village Review
Mansfield Historical Society-594 Storrs Road (Spring Hill Historic Village)
Drainage Improvements

BACKGROUND

The Mansfield Historical Society will be seeking Town Council authorization to apply for a Historic Restoration Fund Grant from the State of Connecticut for proposed drainage improvements to the Mansfield Historical Society buildings a 594 Storrs Road. Town Council approval is needed as the property is owned by the Town of Mansfield.

As part of the grant application, they are required to submit documentation that the proposed alterations have been approved by the Town. As the property is located in a designated local historic district, the Historic District Commission will be holding a public hearing on the application on February 4, 2020. Additionally, the property is located in the Spring Hill Historic Village, which is one of the ten villages for which PZC approval is also required for any exterior construction and site work.

While most of the drainage improvements are subsurface, there are some changes to both the buildings and the site that are needed to address drainage problems, including:

- Removal of a garage entrance located to the rear of the property (not visible from Storrs Road) and replacement with fill and a bulkhead.
- Removal of a chimney on the original town hall building to allow for excavation associated with the installation of french drains. This chimney is not original to the building and is currently pulling away from the building.
- Removal of a portion of the retaining wall along the north side of the original town hall building. As with the chimney, removal of this portion of the wall is due to excavation associated with the french drains. The area where the wall is removed will be regraded to eliminate the need for the wall in that area.
- Removal of trees in front of the building and on the abutting property to the north due to excavation. The largest tree in front of the original town hall has also been identified as suffering from heart rot and would eventually need to be removed regardless of the drainage project.

The proposed improvements are designed to address significant drainage problems that are impacting the overall use and viability of the structures on the property.

Approval Criteria

According to Article X, Section J.2, the following approval criteria apply to all exterior construction involving a property located within a Historic Village:

- New buildings and site improvements shall be designed to fit the individual characteristics of their particular site and village neighborhood. Careful consideration shall be given to promoting compatibility in building size, architectural form, massing, detail, and materials.
- All structural elements shall be in scale with and proportionate to adjacent buildings and other visual structures.
- Overall spacing between roadside structures within the village area shall be maintained.
- Setbacks from roadways and property lines shall be consistent with neighboring structures within the village areas.
- The height of new buildings shall be consistent with neighboring structures within the village area. One and one-half to two and one-half story structures are typical in Mansfield's historic village areas. Through the use of variations in building height, roof line, and grade definition, the perceived high of buildings can be influenced.
- Building and site improvements shall be designated to avoid impacts on significant trees, stone walls, scenic views and vistas and other features that contribute to a historic village area.
- Traditional building materials, such as wood siding and brick that reflect Mansfield's architectural tradition shall be used. Modern materials, such as fiber, cement siding that have the same visual characteristics as wood are considered acceptable.

Summary and Recommendation

The replacement of the existing garage entrance with fill and a bulkhead will not be visible from Storrs Road. While the proposal includes removal of a portion of the stone wall, the most visible portion of the stone wall (leading from Storrs Road to the building) will remain mostly intact.

MOVE to authorize drainage improvements to the Mansfield Historical Society as described in the materials provided to the Commission at the February 3, 2020 meeting based on a finding that the improvements meet the Historic Village review criteria established in Article 10, Section J.

PROPOSED DRAINAGE SYSTEM AND SITE WORK PROJECT AT 954 STORRS ROAD

The Mansfield Historical Society, in partnership with the Town of Mansfield, is applying for a Historic Restoration Fund (HRF) Grant from the State Historic Preservation Office to partially fund the installation of a new drainage system and associated site work at the Old Town Hall and former Town Office Building. These town-owned buildings are currently occupied by the Mansfield Historical Society and are part of the Spring Hill Historical District. The Town has committed \$50,000 in matching funds for this project, providing an HRF grant is received.

Background and Reason for the Project: The Old Town Hall (1843) and former Town Office Building (1935) are now in deteriorating condition, largely due to water leaking into the buildings from the roof systems and into the basements due to poor site drainage. These problems need to be remedied in order to ensure the long-term survival of both buildings.

In 2016, the Mansfield Historical Society, in partnership with the Town of Mansfield, received a HPTAG grant from the Connecticut Trust for Historic Preservation. This grant partially funded a condition assessment study of the Old Town Hall and the former Town Office Building. The study was undertaken by The Nelson Edwards Company Architects LLC (NEC) and their team of consultants. Their report identified, prioritized, and estimated costs for all needed repairs to the buildings. It concluded that it was crucial to prevent the further entry of water into the buildings before undertaking any structural repairs.

Our top priority is to curtail the repeated flooding and continual dampness in the basements of both buildings. Water infiltrating the basements is now threatening the structural integrity of the buildings and also creating mold issues. The basements are no longer suitable for storage. The water damage is especially severe on the north side of the old Town Hall building where the sill plate and siding are rotting.

The existing drainage system has completely failed. A series of underground clay pipes originally collected run-off from the roofs and carried it to the storm drain on Route 195. There were also pipes in the basements of both buildings that connected to this drainage system and removed any water that entered the buildings. This system was reportedly never very effective and now the clay pipes are partially collapsed or filled with roots. The drainage system is no longer connected to the storm drain on Route 195. Following the recommendations of NEC and as part of the HPTAG project, Towne Engineering Inc. designed a new drainage system.

How the work would affect the outer appearance of the buildings. In order to apply for a HRF grant to aid in addressing the drainage issues, we must obtain a Certificate of Appropriateness from the Historic District Commission. Below is a synopsis of the proposed project and how it would affect the outer appearance of the buildings.

- French drains would be installed around the perimeter of the two buildings that would tie into the DOT storm drain on Route 195. The drains would be underground and not visible. The work would temporarily disturb the front sidewalks and driveway. However all would be repaired and returned to previous condition and appearance after the drains are installed.
- On the north side of the Old Town Hall, the retaining wall between the abutting neighbor's property and the side of the building would be removed to allow installation of a drain. Rather than replacing this section of wall, this area would be re-graded to a

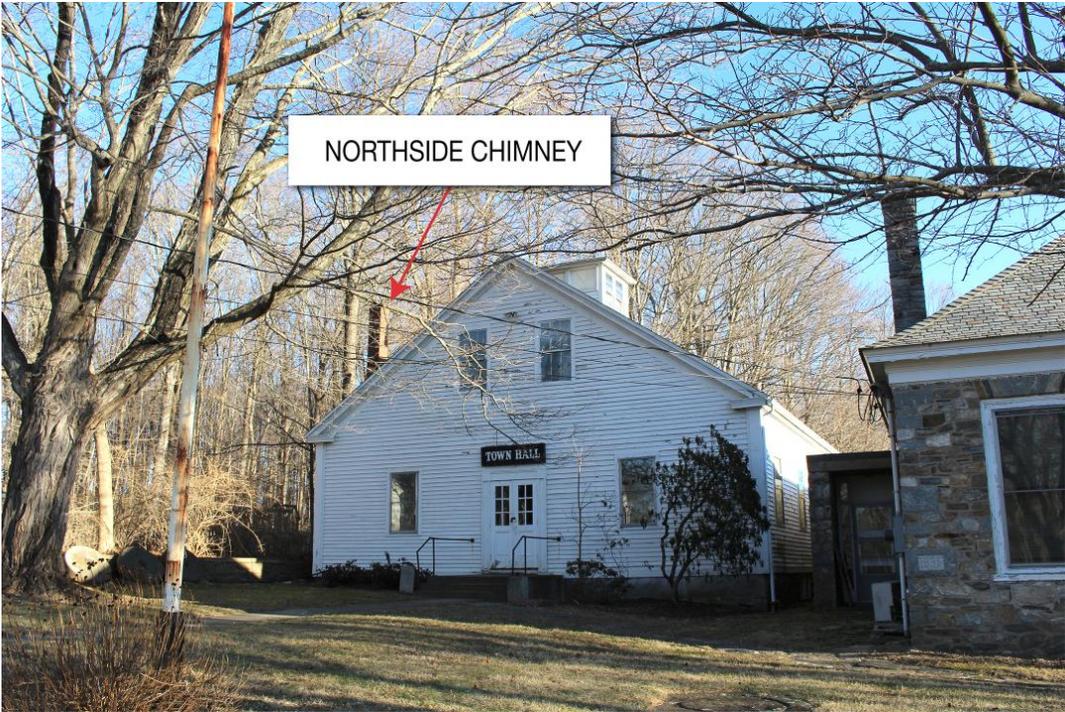
gentle slope. The section that would be removed begins at the end of the row of millstones currently resting against the wall and extends to the rear of the building. Most of the retaining wall that is visible from the street will remain.

- Sadly, to provide access for installing the drain on the north side of the building, the beautiful large maple tree in front of the Old Town Hall will have to be removed. This tree is very old and is diseased with heart rot. It needs to be removed anyway before a storm brings it down and possibly damages the building.
- The chimney on the north side of the Old Town Hall will also have to be removed in order to install the drain. This chimney is no longer used and is not original to the building. It was likely added sometime in the early 20th century when a space to the left of the front door was partitioned off to serve as the Town Clerk's Office and heat was needed there. The chimney is currently in poor condition. It is separating from the building and is kept from collapsing by a metal strap around it and iron bars attached to the roof. Once the chimney is removed, the space left along the roofline would be repaired to match the existing trim. Any damaged siding in this area would also be replaced.
- New gutters would also be installed on the Old Town Hall. Presently there is a broken gutter on the south side of the building that will be replaced and a new gutter added to the north side where there currently isn't one. Both would tie into the new drainage system. The new gutters would affect the outer appearance of the building's façade but minimally so.
- There would be more extensive site work done at the rear of the buildings that would not be visible from the street. Right now the basement of the Old Town Hall floods with every heavy rainfall. Water runs down the steep driveway and under the garage doors into the basement. As part of the project, the garage doors would be replaced with a bulkhead and the resulting void in the foundation wall filled in. The sloping driveway would then be filled in and leveled off. Doing this would also enable the future installation of an accessible entrance at the rear of the former Town Office Building. This building is currently not ADA compliant. An accessible entrance could be installed in place of one of the rear windows and an appropriate ramp designed for it.

Photographs showing how the drainage system project would affect the street view of the Old Town Hall. (The portions of the former Town Office Building visible from the street would not change):



Photograph of the Old Town Hall, c. 1900. Note there is no chimney on the north side of the building. It was a later addition.



This chimney must be removed in order to install the French drain on the north side of the building.

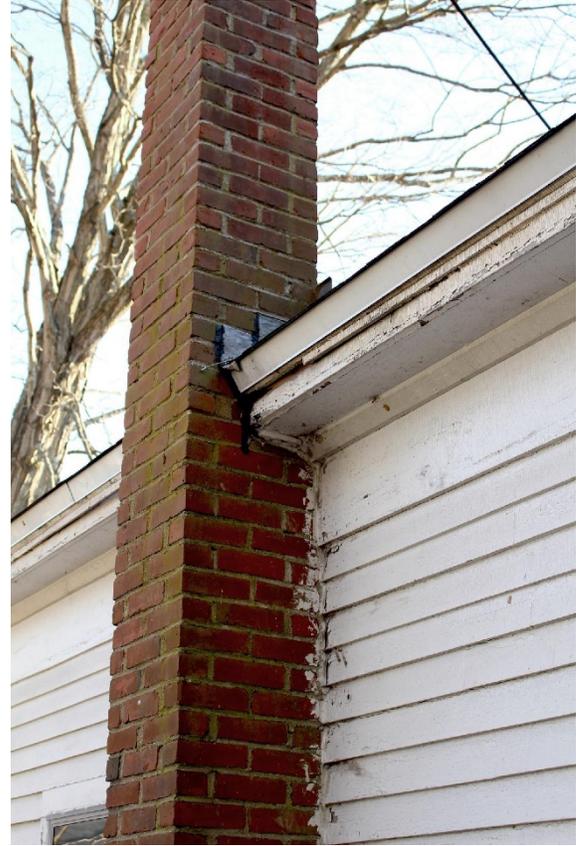


Photo (left) shows how the chimney is leaning and held to the roof by strapping and two iron bars. **Photo (right)** illustrates how the chimney is separating from the building with the space between crudely filled in with caulk. When the chimney is removed, the break in the roofline will be filled in to match the existing trim. A new gutter will also be installed.



View of the abutting neighbor's house and the retaining wall separating their property from the Town's property.

Wall to right of millstone to be removed

Maple tree to be removed



The section of the retaining wall extending from these millstones out to Route 195 will remain intact.

The section from the millstones to the rear of the building will be removed and the area re-graded.



Photographs illustrating the need for this project:



The north side of the Old Town Hall. There is no gutter on this side of the building. Rain water and run-off from the roof collects in the narrow space between the building and the retaining wall. The broken retaining wall also allows water to drain from the abutting property into this space.

This section of retaining wall will have to be removed in order to install a French drain in this area. We are working with the abutting neighbor on a temporary easement agreement that will enable this work to be accomplished. After the drain is installed, this area will be re-graded to a slope and the wall will not be replaced.

Water collecting in the space between the north side of the Old Town Hall and the retaining wall is causing the sill plate and siding to rot.





A close-up of the water damaged sill plate on the north side of the Old Town Hall



The garage doors leading into the basement of the Old Town Hall. These would be replaced with a bulkhead and the remaining void in the foundation filled in. The steep driveway and stairwell between the two buildings would also be filled in. This site work would eliminate the main point of water entry into the Old Town Hall's basement.

Flooding in the basement of the Old Town Hall: The following photographs show what happens during a heavy rainstorm. They were taken while a storm was in progress.



(Above Left) Rain water runs down the steep driveway towards the garage doors that lead into the basement of the Old Town Hall.

(Above Right) The rain water then collects in front of the garage doors and in the stairwell space between the two buildings.

(Left) Water pouring down from the broken section of gutter above this area is causing the disturbance seen in the floodwaters by the staircase. Water from this broken gutter also seeps into the first floor of the building and is causing plaster loss above one of the windows and water damage to the floors. Note the wet mark on the masonry wall on the right. That is also the result of water running down the side of the building from the broken gutter above.



This photograph shows the rain water running under the garage doors and spreading across the basement floor. Note the damp basement wall in the upper right of the photo. During wet weather, water also seeps in through the masonry.



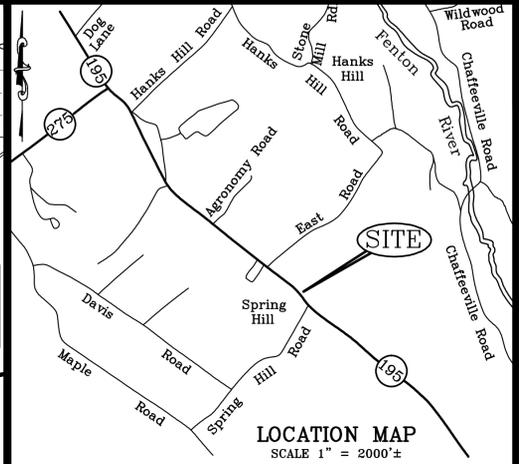
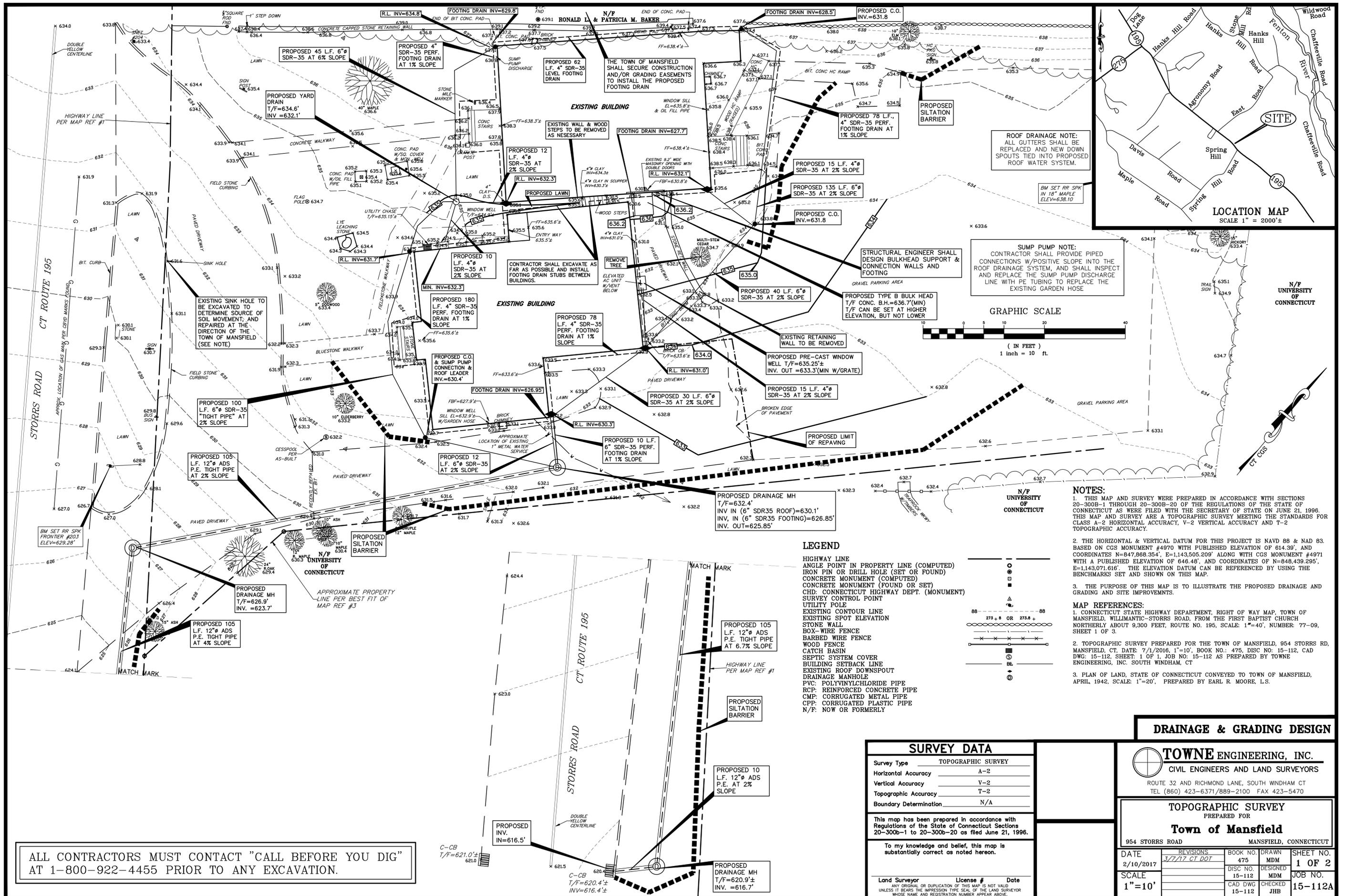
(Left) This drainpipe under the stairwell is part of the old drainage system that is broken and no longer works. The pipe originally directed flood water out to the storm drain on Route 195. Water now collects in this area but has no place to go. **(Right)** The sump pump runs constantly during the spring when the water table is high but it can't keep the basement dry. Note the stain along the walls. That is the high water mark from a flood in March 2010 that reached about 3 feet.

Flooding in the basement of the former Town Office Building. This photograph of part of the basement floor shows evidence of its repeated flooding. The basement is prone to flooding in the springtime when the water table is high and especially if the snowpack melts quickly. There have been several floods that have ranged from a few inches to one foot in height. A popular kitchen display area in the front part of the basement had to be abandoned in 2010 following severe flooding. The basement is currently used for storage but nothing of high value can be stored there due to periodic flooding and damp conditions. A dehumidifier must run constantly during the warm months. The installation of French drains around the perimeter of this building should alleviate these problems.



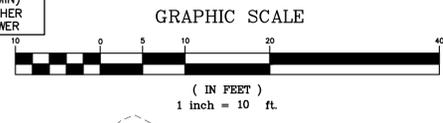
Should an HRF grant be received, the contract requires installation of a sign for the duration of the project. See below.

6.4. Project Sign. Applicant must erect and maintain a project sign at the project site. This sign must: be of reasonable and adequate design and construction to withstand weather exposure; be of a size that can be easily read from the public right-of-way; and be maintained in place throughout the project term. At a minimum the sign must contain the following statement: “Construction of the [name of property] is being supported in part by a Historic Restoration Fund grant administered by the State Historic Preservation Office, CT Department of Economic and Community Development.” Photographs of the sign must be submitted to the Department at the start of the construction process.



ROOF DRAINAGE NOTE:
ALL GUTTERS SHALL BE REPLACED AND NEW DOWN SPOUTS TIED INTO PROPOSED ROOF WATER SYSTEM.

SUMP PUMP NOTE:
CONTRACTOR SHALL PROVIDE PIPED CONNECTIONS W/ POSITIVE SLOPE INTO THE ROOF DRAINAGE SYSTEM, AND SHALL INSPECT AND REPLACE THE SUMP PUMP DISCHARGE LINE WITH PE TUBING TO REPLACE THE EXISTING GARDEN HOSE



- NOTES:**
- THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THROUGH 20-300B-20 OF THE REGULATIONS OF THE STATE OF CONNECTICUT AS WERE FILED WITH THE SECRETARY OF STATE ON JUNE 21, 1996. THIS MAP AND SURVEY ARE A TOPOGRAPHIC SURVEY MEETING THE STANDARDS FOR CLASS A-2 HORIZONTAL ACCURACY, V-2 VERTICAL ACCURACY AND T-2 TOPOGRAPHIC ACCURACY.
 - THE HORIZONTAL & VERTICAL DATUM FOR THIS PROJECT IS NAVD 88 & NAD 83. BASED ON CGS MONUMENT #4970 WITH PUBLISHED ELEVATION OF 614.39', AND COORDINATES N=847,868.354', E=1,143,505.209' ALONG WITH CGS MONUMENT #4971 WITH A PUBLISHED ELEVATION OF 646.48', AND COORDINATES N=848,439.295', E=1,143,071.616'. THE ELEVATION DATUM CAN BE REFERENCED BY USING THE BENCHMARKS SET AND SHOWN ON THIS MAP.
 - THE PURPOSE OF THIS MAP IS TO ILLUSTRATE THE PROPOSED DRAINAGE AND GRADING AND SITE IMPROVEMENTS.
- MAP REFERENCES:**
- CONNECTICUT STATE HIGHWAY DEPARTMENT, RIGHT OF WAY MAP, TOWN OF MANSFIELD, WILLMANTIC-STORRS ROAD, FROM THE FIRST BAPTIST CHURCH NORTHERLY ABOUT 9,300 FEET, ROUTE NO. 195, SCALE: 1"=40', NUMBER: 77-09, SHEET 1 OF 3.
 - TOPOGRAPHIC SURVEY PREPARED FOR THE TOWN OF MANSFIELD, 954 STORRS RD., MANSFIELD, CT, DATE: 7/1/2016, 1"=10', BOOK NO.: 475, DISC NO.: 15-112, CAD DWG: 15-112, SHEET: 1 OF 1. JOB NO: 15-112 AS PREPARED BY TOWNE ENGINEERING, INC. SOUTH WINDHAM, CT
 - PLAN OF LAND, STATE OF CONNECTICUT CONVEYED TO TOWN OF MANSFIELD, APRIL, 1942, SCALE: 1"=20', PREPARED BY EARL R. MOORE, L.S.

LEGEND

HIGHWAY LINE	—
ANGLE POINT IN PROPERTY LINE (COMPUTED)	○
IRON PIN OR DRILL HOLE (SET OR FOUND)	●
CONCRETE MONUMENT (COMPUTED)	□
CONCRETE MONUMENT (FOUND OR SET)	■
CHD: CONNECTICUT HIGHWAY DEPT. (MONUMENT)	▲
SURVEY CONTROL POINT	△
UTILITY POLE	○
EXISTING CONTOUR LINE	—
EXISTING SPOT ELEVATION	○
STONE WALL	—
BOX-WIRE FENCE	—
BARBED WIRE FENCE	—
WOOD FENCE	—
CATCH BASIN	○
SEPTIC SYSTEM COVER	○
BUILDING SETBACK LINE	—
EXISTING ROOF DOWNSPOUT	—
DRAINAGE MANHOLE	○
PVC: POLYVINYLCHLORIDE PIPE	—
RCP: REINFORCED CONCRETE PIPE	—
CMP: CORRUGATED METAL PIPE	—
CPP: CORRUGATED PLASTIC PIPE	—
N/F: NOW OR FORMERLY	—

ALL CONTRACTORS MUST CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 PRIOR TO ANY EXCAVATION.

SURVEY DATA		
Survey Type	TOPOGRAPHIC SURVEY	
Horizontal Accuracy	A-2	
Vertical Accuracy	V-2	
Topographic Accuracy	T-2	
Boundary Determination	N/A	
This map has been prepared in accordance with Regulations of the State of Connecticut Sections 20-300b-1 to 20-300b-20 as filed June 21, 1996.		
To my knowledge and belief, this map is substantially correct as noted herein.		
Land Surveyor	License #	Date
UNLESS IT BEARS THE IMPRESSION TYPE SEAL OF THE LAND SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR ABOVE.		

DRAINAGE & GRADING DESIGN

TOWNE ENGINEERING, INC.
CIVIL ENGINEERS AND LAND SURVEYORS

ROUTE 32 AND RICHMOND LANE, SOUTH WINDHAM CT
TEL (860) 423-6371/889-2100 FAX 423-5470

TOPOGRAPHIC SURVEY
PREPARED FOR
Town of Mansfield
954 STORRS ROAD MANSFIELD, CONNECTICUT

DATE	REVISIONS	BOOK NO.	DRAWN	SHEET NO.
2/10/2017	3/7/17 CT DOT	475	MDM	1 OF 2
SCALE		15-112	DESIGNED	JOB NO.
1"=10'		15-112	MDM	15-112A
		15-112	CAD DWG CHECKED	
			JHB	

EROSION AND SEDIMENTATION CONTROL NOTES

PROJECT DESCRIPTION:

THE PROJECT IS FOR THE INSTALLATION OF A ROOF AND FOOTING DRAINAGE SYSTEM TO CONNECT INTO THE EXISTING STORM DRAINAGE ALONG ROUTE 195. THIS PROJECT ALSO PROPOSES THE INSTALLATION OF A BULK HEAD FOR BASEMENT ACCESS AND ASSOCIATED SITE GRADING.

CONSTRUCTION SCHEDULE:

- [A]INSTALL HAY BALES OR SILT FENCE AS SHOWN ON THE PLAN, MARK OUT AND CONTACT CALL BEFORE YOU DIG
- [B]INSTALL CONSTRUCTION ENTRANCE, AND MARK OUT CONSTRUCTION.
- [C]SAW CUT ALL PAVEMENT TO BE REMOVED AND HAVE MECHANICALS REMOVED OR TEMPORARILY RELOCATED
- [D]INSTALL 12" STORM DRAIN & ASSOCIATED MANHOLES
- [E]EXCAVATE AND INSTALL FOOTING DRAINS & ROOF DRAINAGE SYSTEMS, AND CONNECT TO MANHOLE. BACKFILL AND ROUGH GRADE SITE
- [F]EXCAVATE AND INSTALL CIP FOOTING AND WALL SECTION TO RECEIVE PRECAST BULKHEAD
- [G]INSTALL BULKHEAD AND BACKFILL WITH CLEAN MATERIAL.
- [H]FINISH GRADE SITE AND REPLACE ANY AND ALL MECHANICALS REMOVED AND REPLACE ANY ELEMENT MOVED FOR CONSTRUCTION
- [I]PAVE DRIVEWAY AND PARKING AREAS.
- [J]FINISH GRADE REMAINING SITE.
- [K]FERTILIZE, SEED, & MULCH ALL DISTURBED AREAS.

ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO OR THE START OF CONSTRUCTION AND SHALL REMAIN IN EFFECT UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH A STRONG AND HARDY STAND OF VEGETATION.

OPERATION AND MAINTENANCE:

IN GENERAL, EROSION AND SEDIMENTATION CONTROL AND RESTORATION MEASURES SHALL CONFORM TO THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION, AND TO LOCAL TOWN REQUIREMENTS.

THE CONTRACTOR SHALL MAKE DAILY INSPECTIONS OF THE SITE TO ENSURE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES AND IMMEDIATELY MAKE NECESSARY REPAIRS.

WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA OR WHEN GRADING ACTIVITY HAS TEMPORARILY CEASED FOR A PERIOD OF TIME EXPECTED TO EXCEED ONE MONTH, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT CONTROL MEASURES ARE USED.

ADDITIONAL SEDIMENTATION AND/OR EROSION CONTROL MEASURES IF REQUESTED BY THE TOWN SHALL BE INSTALLED IMMEDIATELY UPON REQUEST.

ALL DISTURBED AREAS SHALL BE PROTECTED WITH A MINIMUM VEGETATION COVER AS SHOWN IN ACCOMPANYING CHART.

THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF THE DISTURBED AREAS.

THE CONTRACTOR HEREBY ACKNOWLEDGES HIS RESPONSIBILITY TO INSTALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ON THIS SITE AND THAT HIS FAILURE TO INSTALL AND MAINTAIN THESE DEVICES COULD RESULT IN FINES OR SUSPENSION OF WORK.

ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE MAINTAINED UNTIL SITE IS STABILIZED.

GENERAL NOTES

ALL CONTRACTORS AND USERS OF THIS PLAN MUST BE CERTAIN THAT THEY ARE USING AN APPROVED PLAN FOR CONTRACT AND CONSTRUCTION PURPOSES.

ALL STORMWATER CULVERTS SHALL BE ADS N-12, REINFORCED CONCRETE, OR APPROVED EQUAL. ALL CULVERTS INSTALLED SHALL BE BACKFILLED CAREFULLY WITH SELECT MATERIAL, AND COMPACTED TO AVOID ANY MEASURABLE SETTLEMENT. ALL CULVERTS ARE TO BE LAID ON A UNIFORM GRADE (AS SET BY LENGTH AND INVERTS SHOWN) AND IN A STRAIGHT LINE.

FILL SHALL BE PLACED ON SUITABLE, COMPACTED, STRUCTURAL SUBGRADE, IN 6" LIFTS. EACH LIFT SHALL BE COMPLETELY COMPACTED BEFORE THE NEXT LIFT IS INSTALLED. FILL SHALL BE CLEAN, STRUCTURAL FILL MEETING CLASS "A" REQUIREMENT FOR M.02.01 OF FORM 816.

ALL STUMPS AND DEBRIS ENCOUNTERED SHALL BE DISPOSED OF PROPERLY OFF SITE AND SHALL NOT BE BURIED ON SITE.

ALL MANHOLES SHALL BE PRECAST CONCRETE WITH CAST IRON FRAMES AND COVERS. CATCH BASINS SHALL BE INSTALLED LEVEL AND ON SUITABLE STRUCTURAL SUBGRADE. THE MANHOLES SHALL BE INSPECTED EVERY YEAR AND SHALL BE CLEANED OUT AS NECESSARY BY THE TOWN OF MANSFIELD.

ALL SIDEWALKS REPAIRED OR DISTURBED SHALL BE REPLACED TO A MAXIMUM LONGITUDINAL SLOPE OF 5% WITH A MAXIMUM CROSS SLOPE OF 2%.

PAVED PARKING SHALL CONSIST OF 8" BANK RUN GRAVEL SUB-BASE MEETING GRADING "A" FOR THE REQUIREMENT FOR M.02.06, 4" PROCESS GRAVEL BASE MEETING THE REQUIREMENTS OF M.05.01, 1-1/2" CLASS I BINDER, AND 1-1/2" CLASS II WEARING COURSE, BOTH BINDER AND WEARING COURSE SHALL MEET THE REQUIREMENTS FOR M.04.03 OF FORM 816.

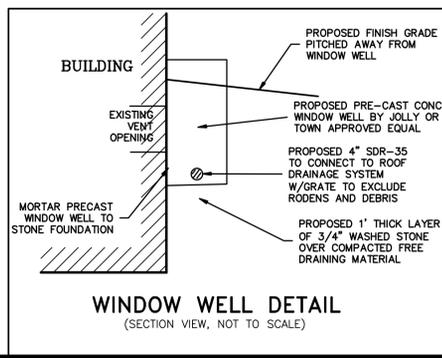
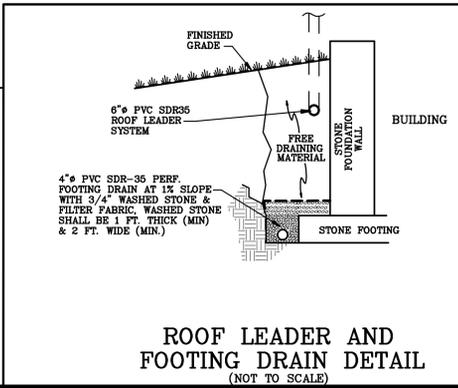
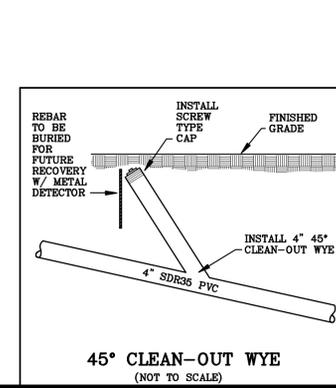
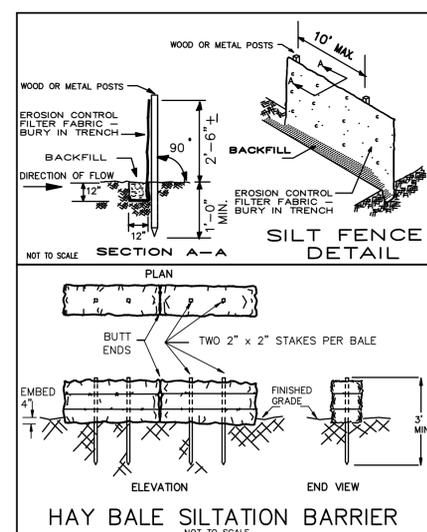
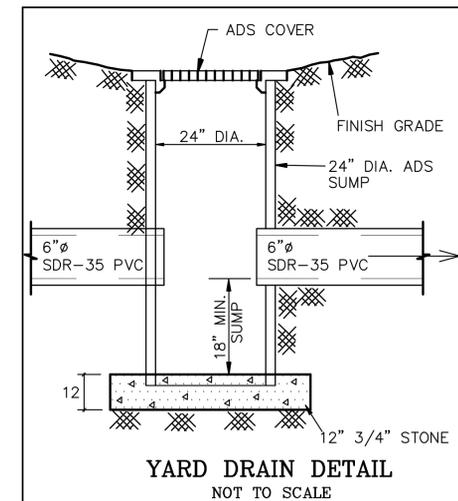
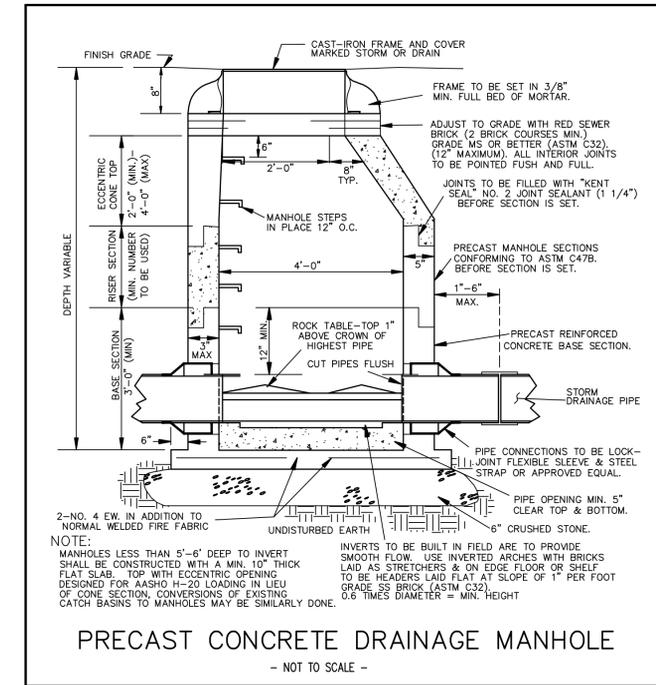
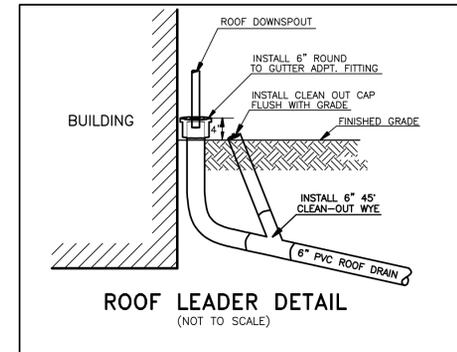
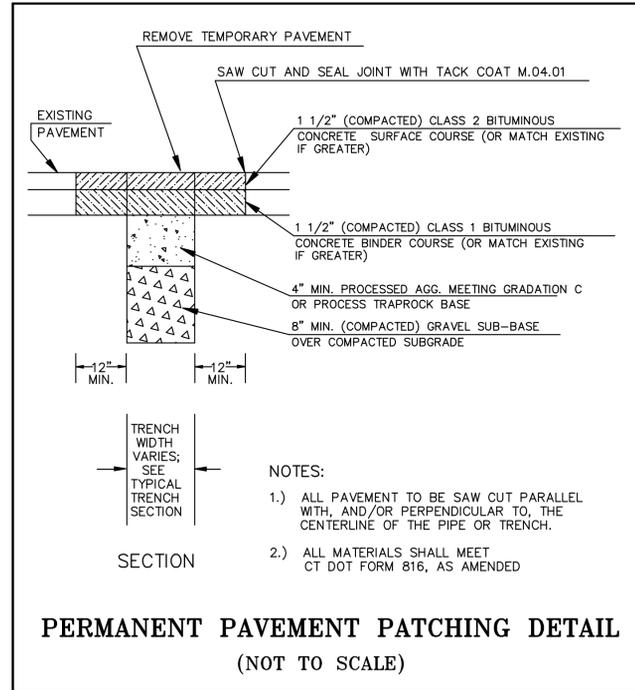
ALL SIDEWALK LANDINGS SHALL BE INSTALLED LEVEL, WITH THE MAXIMUM PERMISSIBLE SLOPE (ENTERING OR EXITING LANDING) TO BE 8.33% (1:12) FOR A MAXIMUM RISE OF 30" (2.5 FT.). LEVEL LANDINGS SHALL BE AT LEAST 5 FT. LONG AND 5' WIDE.

PROPOSED BULKHEAD SHALL BE PRE-CAST CONCRETE, PLACED ON A 8" (MIN) COMPACTED PROCESSED GRAVEL LAYER.

ALL BENCHMARKS AND TOPOGRAPHY SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. ALL BENCHMARKS SET WITH A SPIKE ARE REFERENCING THE TOP OF THE NAIL HEAD FOR THE ELEVATION GIVEN, NOT THE SHAFT. THE TOPOGRAPHY IS FROM A FIELD SURVEY PERFORMED BY TOWNE ENGINEERING, INC.

PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO DETERMINE AND MARK ANY UNDERGROUND UTILITIES.

THE BULKHEAD AND WINDOW WELL SHALL BE PRECAST CONCRETE PRODUCED BY JOLLY CONCRETE, UNITED, OR TOWN OF MANSFIELD APPROVED EQUAL, AND SHALL BE INSTALLED AS SPECIFIED HEREIN AND/OR AS RECOMMENDED BY THE MANUFACTURER.



VEGETATIVE COVER FOR DISTURBED AREAS

SEEDING SCHEDULE			
	SEED MIX	SEEDING SEASON	
TEMPORARY	100% ANNUAL RYEGRASS	MARCH 1 TO JUNE 15 AUGUST 15 TO OCT. 1	
PERMANENT	45% KENTUCKY BLUEGRASS 45% CREEPING RED FESCUE 10% PERENNIAL RYE GRASS (OR EQUAL)	APRIL 15 TO JUNE 15 AUGUST 15 TO SEPT. 15	

APPLICATION RATES PER 1000 S.F.				
	SEED MIX	FERTILIZER (10x10x10)	LIME	HAY MULCH
TEMPORARY	1 LB.	7.5 LBS.	45 LBS.	70-90 LBS.
PERMANENT	1 LB.	7.5 LBS.	90 LBS.	70-90 LBS.

TEMPORARY MULCH

TO BE USED IN AREAS WHICH CANNOT BE SEEDED WITHIN THE SPECIFIED SEEDING SEASONS.

APPLICATION RATE: 70-90 LBS./1000 SF

ASPHALT OR SYNTHETIC LIQUID MULCH BINDER SHALL BE APPLIED OVER ALL HAY MULCH AT THE RATES SPECIFIED BY THE MANUFACTURER.

DRAINAGE & GRADING DESIGN

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 CIVIL ENGINEERS AND LAND SURVEYORS
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 TEL (860) 423-6371/889-2100 FAX 423-5470

TOPOGRAPHIC SURVEY			
PREPARED FOR			
Town of Mansfield			
954 STORRS ROAD, MANSFIELD, CONNECTICUT			
DATE	REVISIONS	BOOK NO.	DRAWN
2/10/2017	3/7/17 CT DOT	475	MDM
SCALE		DISC NO.	DESIGNED
AS NOTED		15-112	MDM
		CAD DWG	CHECKED
		15-112	JHB
			SHEET NO.
			2 OF 2
			JOB NO.
			15-112A

LOOKING BACK: THE HISTORY OF OUR MUSEUM BUILDINGS **(Adapted from the Mansfield Historical Society Newsletter, September 2016)**

In conjunction with the condition assessment study of the old Town Hall and the former Town Office Building that the Mansfield Historical Society now occupies, we have also reviewed their history.

In her book, *Listen to the Echoes: The Early History of Spring Hill, Mansfield, Connecticut*, Roberta Smith details the origin of the old Town Hall. “During Mansfield’s formative years, town meetings were held in the homes of various prominent settlers. Later on, the meeting houses were used. The early Ecclesiastical Societies controlled not only the religious life of the people but also much of the educational and political life of the rural communities.” On November 10, 1800, it was voted to hold ‘the Freemans and Town Meetings’ alternately in the meeting houses [churches] of the First Society (now Mansfield Center) and the Second Society (North Mansfield, now Storrs).

As the town grew, so did its need for a town house – a dedicated building for town meetings and for conducting town business. Construction of a town house was first proposed at a town meeting on December 3, 1838. Then followed several years of controversy over where to locate the proposed town house and how to pay for its construction.

Finally, in October 1841, a site on Spring Hill was selected for the new Town House, presumably because of its centralized location. The following August, a tax of four cents on the dollar was levied on the Grand List to defray the cost of its construction. Elijah C. Moulton of Chaplin was engaged as the builder and he received \$800 for his services.



The Town Hall as it appeared prior to the construction of the Town Office Building

The new Town House, later known as the Town Hall, was completed in the summer of 1843. Mansfield voters met there for the first time on September 4, 1843 and for the next 128 years the Town’s annual meetings and special meetings were held there. The building also served the community as a venue for social events such as dances, concerts and other entertainments.

Early in the 20th century, a section to the left of the Town Hall’s front entry was partitioned off to create an office for the Town Clerk. The town’s vital records and land records were stored there in a safe that was purchased for this purpose in 1918. Most other town business, however, was still conducted from the homes of various officers. This arrangement became progressively less satisfactory over time.

By 1930, the nearly century-old Town Hall was showing its age. The old wooden structure, described as “ramshackle,” had become a fire hazard and a risky depository for the Town’s valuable records. Mansfield had a pressing need for new town office building that would provide both a central place for offices and a safer location for its important records. However the nation was in the midst of the Great Depression and undertaking such an expensive project seemed impossible.

Hope for a town office building was rekindled with the establishment of federal aid programs under the administration of President Franklin D. Roosevelt. Known collectively as “The New

Deal,” these new programs were designed to improve the economy and put the unemployed back to work.

Shortly after Roosevelt took office in 1933, the Federal Emergency Relief Administration (FERA) was created. This agency provided loans and grants to states for the operation of relief programs and for works programs to hire the unemployed.

In 1935, the Federal Emergency Relief Administration was dissolved and its work was then taken over by two new federal agencies, the Works Progress Administration and the Social Security Administration.

The Works Progress Administration (WPA) funded national, state and local public works projects. Its goal was to employ most of the unemployed people on relief until the economy recovered. This massive public works program improved the nation’s infrastructure through the construction of highways, roads and bridges and funded countless public buildings. Renamed the Work Projects Administration in 1939, its public works program continued until 1943 when pre-war production provided an abundance of new employment opportunities.

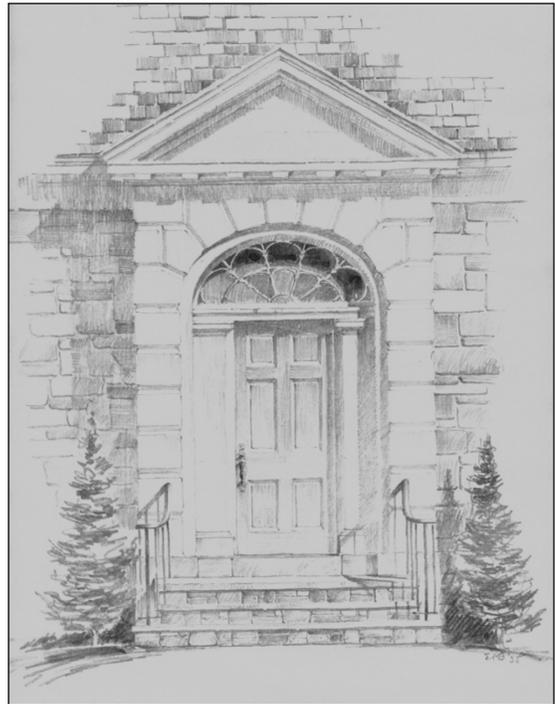
In the fall of 1934, the Town of Mansfield applied to the Federal Emergency Relief Administration for a grant to build a new town office building. At a meeting of Mansfield’s Board of Finance on October 16, 1934, first selectman Daniel C. Flaherty reported that “it appeared likely federal funds would be available for the payment of all labor costs and a large part of the cost of material for a Town Office Building. He pointed out that this project would furnish work for residents of the town who would soon be in need of town aid and that the project, if undertaken, would relieve the town budget to a considerable extent” (Town Meeting Records).

The project was approved on October 31, 1934 and the architectural firm Perry & Bishop of New Britain was engaged to design the Town Office Building. They designed an attractive one-story colonial revival edifice with a fieldstone exterior. The interior featured office spaces for the town officials and a fireproof vault for the town records.

Work commenced on November 22, 1934. The Annual Report of the Officers of the Town of Mansfield, for the year ending September 17, 1935, lists 42 men on the payroll for the construction project. The workers’ pay ranged from \$2.75 to \$63.00 depending on the length of their service; the total payroll was \$889.65.

The report also shows that the architects were paid \$255 for their design work. Surprisingly, one of the most expensive features of the new building was the heavy vault door which came from a bank in Danielson. It cost \$182.40, including installation.

The Town subsequently applied for FERA funds to renovate the Town Hall building as well. This project was approved on January 3, 1935. Work began almost immediately on the excavation and building of a new foundation directly behind the old building. When it was completed, the Town Hall was moved from its original location and placed atop the new foundation. The interior was



Design of the front entrance to the Town Office Building by Delbert I. Perry and Earle K. Bishop

then renovated and new lighting and heating systems were installed. The Town Hall project was completed in November 1935. The total project cost was \$3,261.18, with \$3,108.45 from FERA funds. The cost to the Town was just \$152.73!

Meanwhile, construction of the new Town Office Building continued on. When the project was transferred to the Works Progress Administration on November 4, 1935, it was 60% complete. A report filed with the WPA on September 15, 1936 states that the project was completed in May at a cost of \$7,070, of which \$5,430 was granted from federal funds.

However the Project Register, now held in the Society's collection, shows different figures. It records project expenses through November 27, 1935 totaling \$8,251.92, with \$3,791.15 covered by FERA funds. Penciled notes indicate a final grand total of \$9,709.19 in expenses and an additional grant of \$1,455.27 from the WPA. Thus the correct project cost remains unclear. Nevertheless, an inventory of Town Property in the Annual Report for 1936 shows the new Town Office Building valued at \$10,000 and the renovated Town Hall at \$3,000.

The 1936 project report filed with the WPA states that the new Town Office Building "is very pleasing to the eye and has the unanimous approval of every citizen in the community." In fact, the Town was so proud of its new municipal building that its image was incorporated in the Town's official seal. The report concludes, "There is no doubt but that without the aid of the federal government the town of Mansfield would never have been able to build [this] new edifice."

Following the completion of the Town Office Building and the renovation of the Town Hall, further alterations were made to the two buildings. Sometime during World War II or during the subsequent Cold War years, a plane spotting tower was constructed on top of the Town Hall building. The Town Office Building served as the town's Civil Defense Headquarters during these years.



Interior of the Town Hall, October 1952. Walter Lowell and members of the Women's League of Voters proudly pose in front of Mansfield's new voting machines. The voting booths were first used in the presidential election on November 4, 1952 in which Dwight D. Eisenhower won a landslide victory over Adlai Stevenson.

Mansfield's population grew rapidly with the post-World War II baby boom. The growth of the University of Connecticut and the Mansfield Training School also brought many new residents to town. By the 1950s the Town Hall could no longer accommodate the crowds that gathered to discuss important town issues. Meetings about the construction of new schools were especially contentious and crowded. Town meetings often had to be adjourned and moved to a larger venue, usually the Hawley Armory on campus. At the town meeting on March 15,

1971, it was voted: “that town meetings may be held in locations other than the Town Hall, which is 127 years old.”

Likewise, the 1935 Town Office Building was quickly outgrown. By the 1950s there was already a need for more office space and the narrow 8’ deep vault was no longer adequate for housing the town records. A large addition was added to the rear of the building in 1957. The new addition provided a much larger vault (now our office and library) and more office space. However the addition only temporarily relieved the space issues.

By the 1970s it was clear that larger quarters were needed for conducting town business. In 1977, voters approved plans to renovate the old Storrs Grammar School and transform it into a new municipal building. The town offices moved into the new municipal building at the end of the 1970s. It was named after the late Senator Audrey Beck in 1984.

In 1980 the Mansfield Historical Society moved its headquarters and museum from the old Eagleville schoolhouse to the vacant Town Office Building. The Old Town Hall was added to its museum complex in 1986. The buildings are still owned by the Town and are leased to the Society under a long-term lease arrangement.

Today the Old Town Hall and the former Town Office Building are 175 and 83 years old respectively. Age and Mother Nature have taken their toll. Water infiltration from the roof systems and poor site drainage conditions have caused the most damage.

The condition assessment study, made possible by a grant from the Connecticut Trust for Historic Preservation and matching funds from the Town of Mansfield, has identified the many issues that threaten the buildings. It has also provided a prioritized list of needed repairs and their estimated costs. As we study the condition assessment report, one thing is immediately clear. It will cost much, much more to repair the buildings than it did to construct them!

Linda M. Painter

From: Kask <tkask@redshift.com>
Sent: Wednesday, January 29, 2020 12:07 PM
To: PlanZoneDept
Cc: Town Council
Subject: Design

As the Meadowbrook apartments continue to disgrace the landscape as they are being constructed, and with several other projects about to be approved, I am once again appalled at the design being allowed in this town. We have an opportunity here to create vibrant, elegant neighborhoods yet we continue to construct architectural abominations chief among them Storrs Center or whatever it's name is now. Architecture is a statement of the zeitgeist, not of the pencil of an amateur third rate architectural draftsman. Or keyboard these days.

Just judging by the site plan for the JE Shepard development it will be another site planning disaster such as Meadowbrook and Storrs Center.

A proper progressive town would have a design review board in place that examines each project on many levels not just site planning. This action captures opportunities potentially missed and can set off new directions in planning that will benefit the town.

I am extremely disappointed in the direction the town has been going in from a design perspective. So many opportunities squandered such as creating innovative condos behind Storrs Center instead of military barracks in the shadow of ugly boxes. If a design competition among starchitects had been held, we would have so much better off. All architects would be thrilled to have an opportunity to create a whole new town center.

I will be watching the progress of the JES proposal carefully and interjecting my opinion frequently.

What is the status of the development on 44 at the former mini golf course?

Toivo Kask
3 Agronomy Rd

Sent from my iPhone