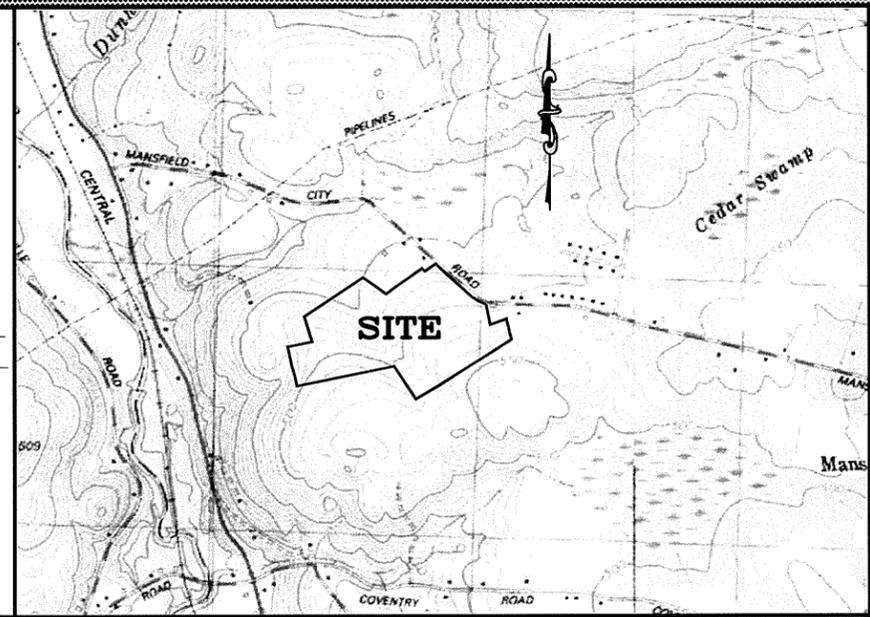
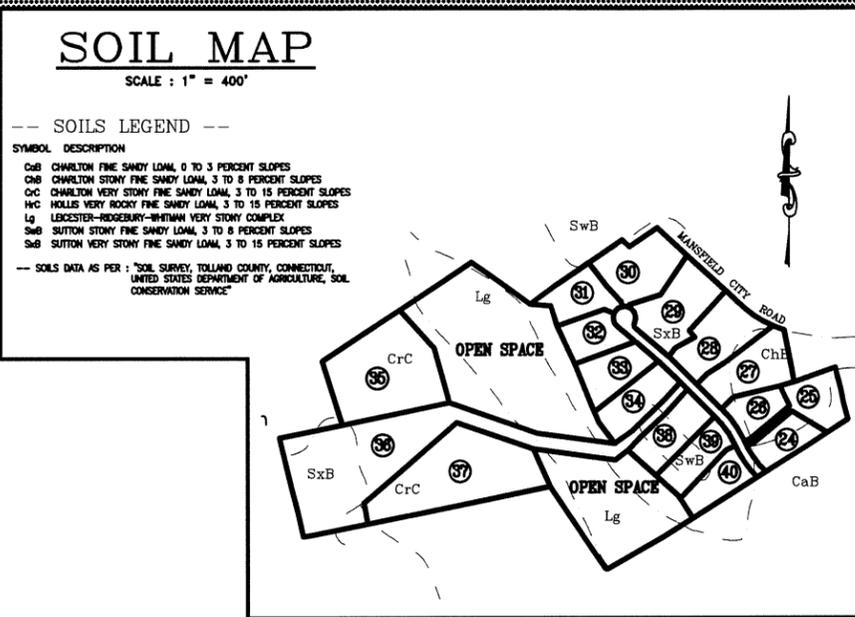


INDEX MAP
FOR
SITE DEVELOPMENT PLAN



LOCATION MAP
SCALE : 1" = 1000'

SUBDIVISION
ENTITLED
BEACON HILL ESTATES
SECTION II
MANSFIELD CITY ROAD & BEACON HILL DRIVE – MANSFIELD, CONNECTICUT

SUBDIVIDER
EAGLEVILLE DEVELOPMENT GROUP, LLC
100 WELLS STREET SUITE 1D
HARTFORD, CONNECTICUT 06103

OWNER
GLADYS MARSHALL
31 ASPEN CIRCLE
BARNEGAT, NJ 08005

JULY 15, 2012

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____
APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____
APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____
APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

DATUM ENGINEERING & SURVEYING, LLC
132 CONANTVILLE ROAD
MANSFIELD CENTER, CONNECTICUT 06250

GERRY HARDISTY, P.E.
203 BOSTON HILL ROAD
ANDOVER, CONNECTICUT 06232

JOHN IANNI, SOIL SCIENTIST
103 SCHOOL STREET
COVENTRY, CONNECTICUT 06238

JOHN ALEXOPOULOS, ASLA
16 STORRS HEIGHTS ROAD
STORRS, CONNECTICUT 06268

INDEX TO SHEETS

COVER SHEET	SHEET 1 OF 13
BOUNDARY SURVEY	SHEET 2 OF 13
SITE DEVELOPMENT PLAN	SHEET 3 OF 13
SITE DEVELOPMENT PLAN	SHEET 4 OF 13
SITE DEVELOPMENT PLAN	SHEET 5 OF 13
SITE DEVELOPMENT PLAN	SHEET 6 OF 13
SITE DEVELOPMENT PLAN	SHEET 7 OF 13
TEST HOLE & PERCOLATION DATA	SHEET 8 OF 13
ROAD PROFILE	SHEET 9 OF 13
ROAD PROFILE	SHEET 10 OF 13
DETAIL SHEET	SHEET 11 OF 13
DETAIL SHEET	SHEET 12 OF 13
EROSION & SEDIMENTATION CONTROL PLAN	SHEET 13 OF 13

JOB NO. 211053
SHEET 1 OF 13

OPEN SPACE DEDICATION

15% OF DRY LAND IN SUBDIVISION = 12.72 ACRES x 0.15 = 1.91 ACRES
 15% OF WETLANDS IN SUBDIVISION = 12.72 ACRES x 0.15 = 1.91 ACRES
 TOTAL OPEN SPACE RECOMMENDED = 3.82 ACRES
 DRY LAND WITHIN OPEN SPACE = 9.81 ACRES
 WETLANDS WITHIN OPEN SPACE = 12.22 ACRES
 TOTAL AREA OF OPEN SPACE = 22.03 ACRES

TOTAL PARCEL AREA 62.0 ACRES
 PROPOSED OPEN SPACE 5.79 ACRES
 PROPOSED OPEN SPACE 11.10 ACRES
 PROPOSED OPEN SPACE 0.22 ACRES
 PROPOSED CONSERVATION EASEMENT 1.02 ACRES
 PROPOSED CONSERVATION EASEMENT 3.90 ACRES
 TOTAL DEDICATION = 22.03 AC. (35.5%)

TOTAL PARCEL AREA 62.0 ACRES

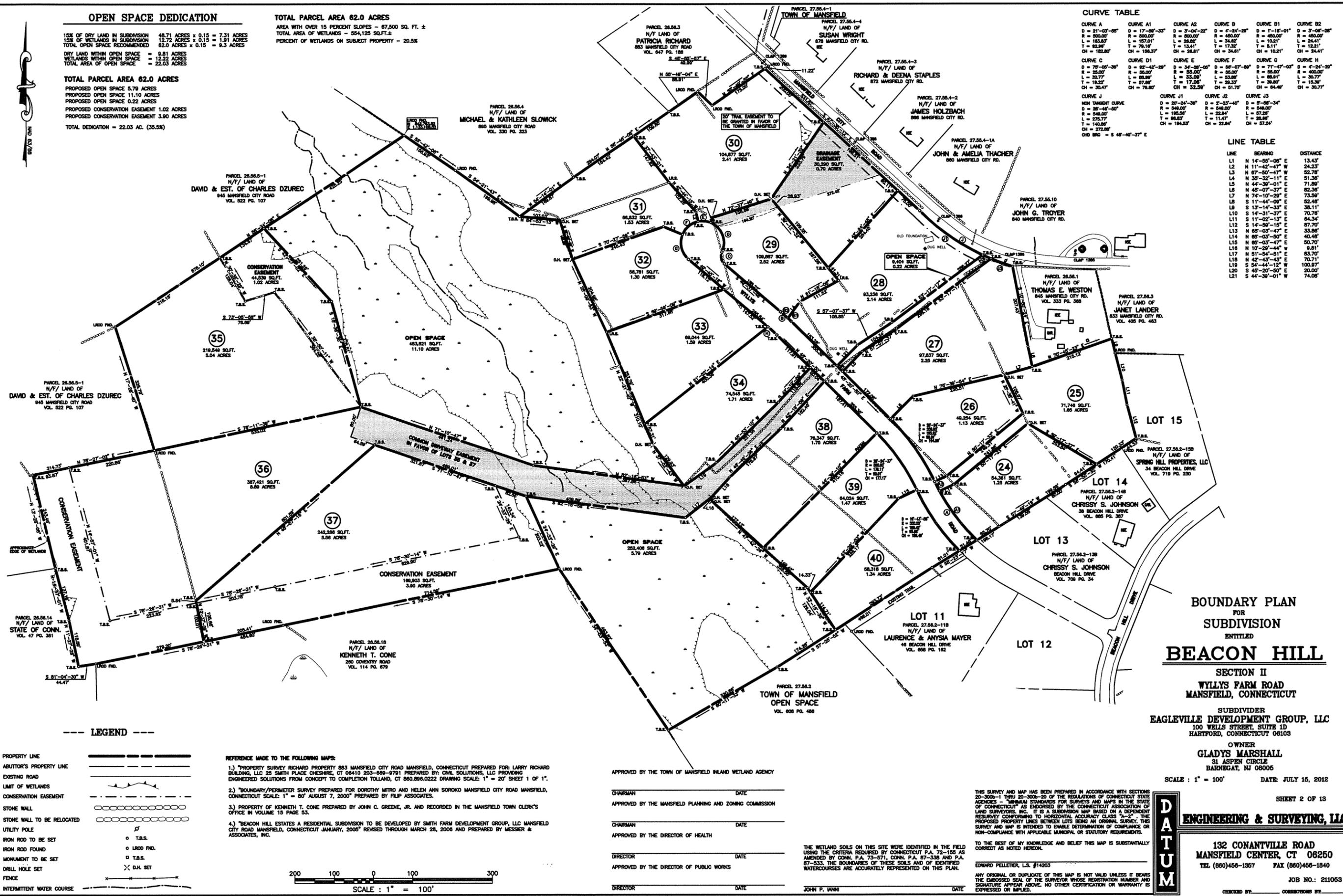
AREA WITH OVER 15 PERCENT SLOPES = 67,500 SQ. FT. ±
 TOTAL AREA OF WETLANDS = 554,125 SQ.FT.±
 PERCENT OF WETLANDS ON SUBJECT PROPERTY = 20.5%

CURVE TABLE

CURVE A	CURVE A1	CURVE A2	CURVE B	CURVE B1	CURVE B2
D = 21'-03"-05"	D = 17'-00"-33"	D = 3'-04"-22"	D = 4'-24"-25"	D = 1'-10"-01"	D = 3'-06"-28"
R = 800.00'	R = 800.00'	R = 800.00'	R = 400.00'	R = 400.00'	R = 400.00'
L = 183.87'	L = 183.87'	L = 34.82'	L = 34.82'	L = 10.21'	L = 24.41'
T = 82.98'	T = 75.16'	T = 13.41'	T = 17.32'	T = 5.11'	T = 12.21'
CH = 182.80'	CH = 186.57'	CH = 28.81'	CH = 34.81'	CH = 10.21'	CH = 24.41'

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 14°-25'-08" E	13.43'
L2	N 11°-42'-47" W	24.23'
L3	N 87°-50'-47" W	52.78'
L4	N 35°-32'-11" E	51.36'
L5	N 44°-30'-01" E	71.29'
L6	N 40°-07'-37" E	82.35'
L7	N 74°-10'-29" E	73.59'
L8	S 11°-44'-09" E	52.48'
L9	S 13°-14'-33" E	38.11'
L10	S 14°-31'-37" E	70.79'
L11	S 11°-02'-13" E	64.34'
L12	S 14°-59'-15" E	87.70'
L13	N 85°-03'-47" E	33.58'
L14	N 85°-03'-50" E	40.48'
L15	N 85°-03'-47" E	50.70'
L16	N 10°-29'-44" W	9.81'
L17	N 51°-54'-51" E	83.70'
L18	N 42°-43'-43" E	70.71'
L19	S 54°-44'-12" W	100.97'
L20	S 45°-20'-50" E	20.00'
L21	S 44°-30'-01" W	74.06'



LEGEND

- PROPERTY LINE
- ADJUTOR'S PROPERTY LINE
- EXISTING ROAD
- LIMIT OF WETLANDS
- CONSERVATION EASEMENT
- STONE WALL
- STONE WALL TO BE RELOCATED
- UTILITY POLE
- IRON ROD TO BE SET
- IRON ROD FOUND
- MONUMENT TO BE SET
- DRILL HOLE SET
- FENCE
- INTERMITTENT WATER COURSE

- REFERENCE MADE TO THE FOLLOWING MAPS:**
- 1) "PROPERTY SURVEY RICHARD PROPERTY 883 MANSFIELD CITY ROAD MANSFIELD, CONNECTICUT PREPARED FOR: LARRY RICHARD BUILDING, LLC 25 SMITH PLACE CHESTER, CT 06410 2003-08-09-0791 PREPARED BY: CIVIL SOLUTIONS, LLC PROVIDING ENGINEERED SOLUTIONS FROM CONCEPT TO COMPLETION TOLLAND, CT 860.896.0222 DRAWING SCALE: 1" = 20' SHEET 1 OF 1".
 - 2) "BOUNDARY/PERMETER SURVEY PREPARED FOR DOROTHY MITRO AND HELEN ANN SOROKO MANSFIELD CITY ROAD MANSFIELD, CONNECTICUT SCALE: 1" = 80' AUGUST 7, 2000" PREPARED BY FILIP ASSOCIATES.
 - 3) "PROPERTY OF KENNETH T. CONE PREPARED BY JOHN C. GREENE, JR. AND RECORDED IN THE MANSFIELD TOWN CLERK'S OFFICE IN VOLUME 15 PAGE 53.
 - 4) "BEACON HILL ESTATES A RESIDENTIAL SUBDIVISION TO BE DEVELOPED BY SMITH FARM DEVELOPMENT GROUP, LLC MANSFIELD CITY ROAD MANSFIELD, CONNECTICUT JANUARY, 2005" REVISED THROUGH MARCH 28, 2006 AND PREPARED BY MESSIER & ASSOCIATES, INC.

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____

THE WETLAND SOILS ON THIS SITE WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-165 AS AMENDED BY CONN. P.A. 73-571, CONN. P.A. 87-335 AND P.A. 87-533. THE BOUNDARIES OF THESE SOILS AND OF IDENTIFIED WATERCOURSES ARE ACCURATELY REPRESENTED ON THIS PLAN.

JOHN P. WIRTH _____ DATE _____

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

EDWARD PELLETIER, L.S. #14203

ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE. NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.

DATUM

BOUNDARY PLAN FOR SUBDIVISION ENTITLED BEACON HILL SECTION II WYLLYS FARM ROAD MANSFIELD, CONNECTICUT

SUBDIVIDER
EAGLEVILLE DEVELOPMENT GROUP, LLC
 100 WELLS STREET, SUITE 1D
 HARTFORD, CONNECTICUT 06103

OWNER
GLADYS MARSHALL
 31 ASPEN CIRCLE
 BARNEGAT, NJ 08006

SCALE: 1" = 100' DATE: JULY 15, 2012

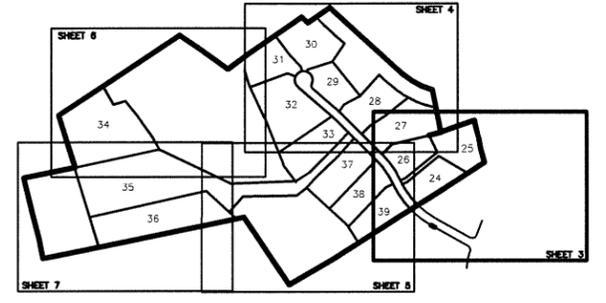
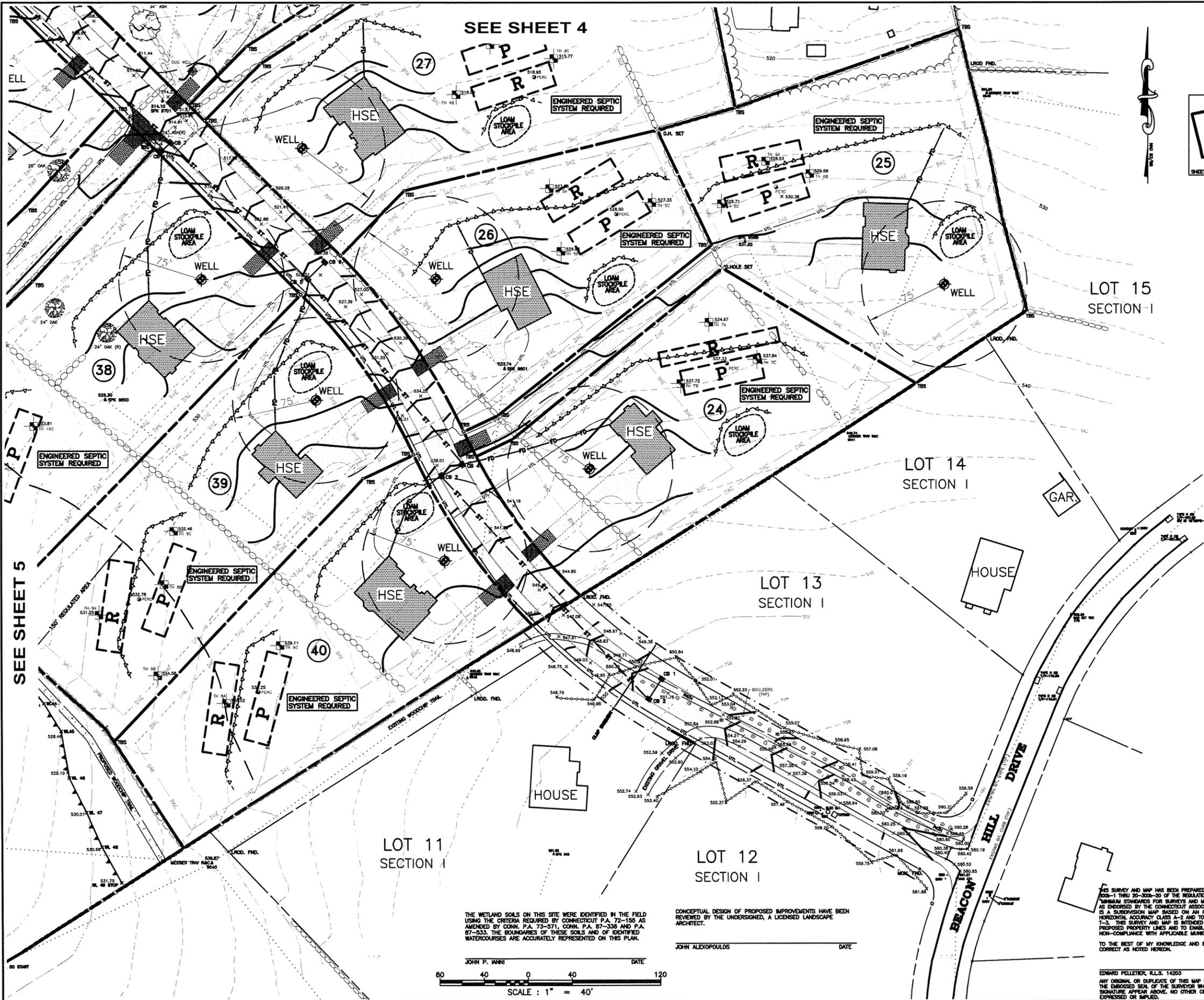
ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
 MANSFIELD CENTER, CT 06250
 TEL (860)456-1957 FAX (860)456-1840

JOB NO.: 211053

CHECKED BY: _____ DATE: _____





SHEET KEY MAP
SCALE: 1" = 500'

EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	TREE LINE	---
---	STONEWALL	---
---	TEST HOLE	---
---	SURVEY TRAVELER	---
---	EASEMENT LINE	---
---	SPOT ELEVATION	---
---	CONTOUR	---
---	WELL	---
---	LIMIT OF WETLANDS	---
---	PERCOLATION TEST	---
---	FOUNDATION DRAIN	---
---	CATCH BASIN	---
---	STORM DRAINAGE PIPE	---
---	GRADE TO DRAIN	---
---	SILT FENCE	---
---	DEVELOPMENT AREA ENVELOPE	---
---	BUILDING AREA ENVELOPE	---
---	UNDERGROUND UTILITIES	---
---	TREE TO BE REMOVED	---

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY
 CHAIRMAN _____ DATE _____
 APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION
 CHAIRMAN _____ DATE _____
 APPROVED BY THE DIRECTOR OF HEALTH
 DIRECTOR _____ DATE _____
 APPROVED BY THE DIRECTOR OF PUBLIC WORKS
 DIRECTOR _____ DATE _____

**SITE DEVELOPMENT PLAN
 FOR
 SUBDIVISION
 ENTITLED
 BEACON HILL
 SECTION II
 WYLLYS FARM ROAD
 MANSFIELD, CONNECTICUT**

SUBDIVIDER
EAGLEVILLE DEVELOPMENT GROUP, LLC
 100 WELLS STREET, SUITE 1D
 HARTFORD, CONNECTICUT 06103

OWNER
GLADYS MARSHALL
 31 ASPEN CIRCLE
 BARNEGAT, NJ 08005

SCALE: 1" = 40' DATE: JULY 15, 2012

SHEET 3 OF 13
ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
 MANSFIELD CENTER, CT 06250
 TEL (860)466-1367 FAX (860)466-1840

DATUM

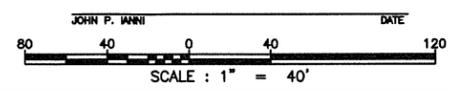
SEE SHEET 4

SEE SHEET 5

THE WETLAND SOILS ON THIS SITE WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY CONN. P.A. 73-571, CONN. P.A. 87-338 AND P.A. 87-533. THE BOUNDARIES OF THESE SOILS AND OF IDENTIFIED WATERCOURSES ARE ACCURATELY REPRESENTED ON THIS PLAN.

CONCEPTUAL DESIGN OF PROPOSED IMPROVEMENTS HAVE BEEN REVIEWED BY THE UNDERSIGNED, A LICENSED LANDSCAPE ARCHITECT.

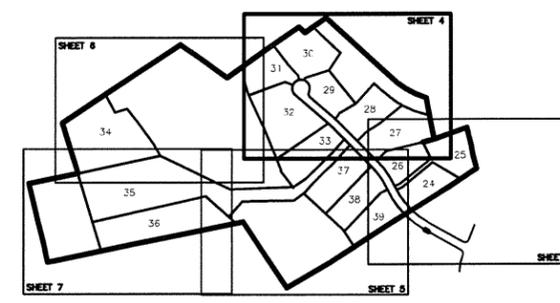
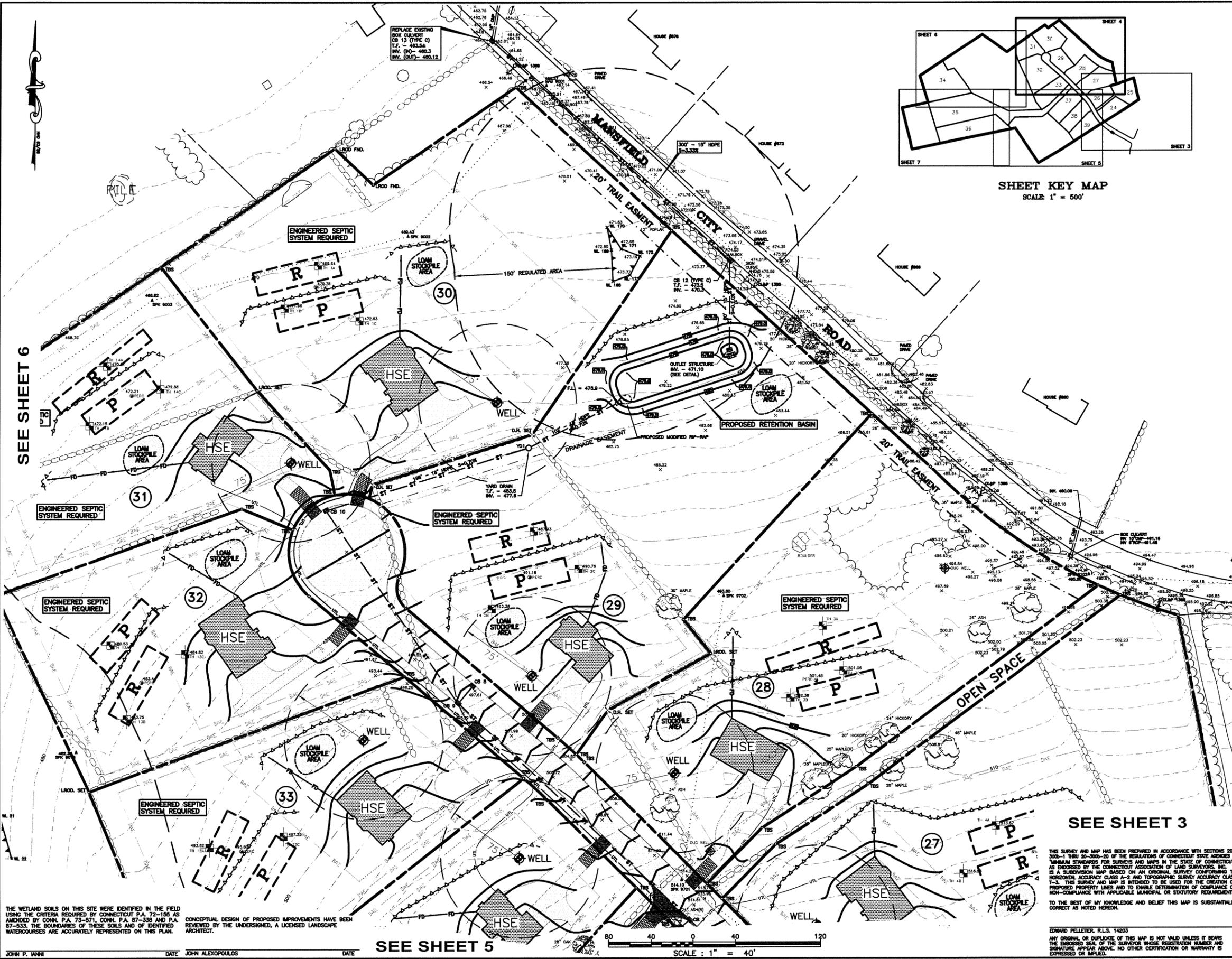
JOHN ALEXOPOULOS DATE _____



THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-202a-1 THRU 20-300b-30 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENFORCED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A SUBDIVISION MAP BASED ON AN ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC SURVEY ACCURACY CLASS T-1. THIS SURVEY AND MAP IS INTENDED TO BE USED FOR THE CREATION OF PROPOSED PROPERTY LINES AND TO ENABLE DETERMINATION OF COMPLIANCE OR NON-COMPLIANCE WITH APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS. TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

EDWARD PELLETIER, R.L.S. 14203
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JOB NO.: 211053
 CHECKED BY: _____ CORRECTED BY: _____



SHEET KEY MAP
SCALE: 1" = 500'

- SPECIAL NOTES:**
- 1.) THE DEPICTED SEPTIC SYSTEMS ARE SIZED FOR FOUR BEDROOM DWELLINGS.
 - 2.) SOLAR ACCESS: PROPOSED HOUSES HAVE BEEN DEPICTED TO MAXIMIZE SOLAR HEAT GAIN AND MINIMIZE SOLAR HEAT LOSS AS SPECIFIED IN SECTION 4.8 OF THE TOWN OF MANSFIELD SUBDIVISION REGULATIONS.
 - 3.) IT IS CERTIFIED WITH THE ACKNOWLEDGMENT BELOW, THAT THE DIMENSIONAL LOT REQUIREMENTS OF ARTICLE VII, SECTION A OF THE TOWN OF MANSFIELD ZONING REGULATIONS HAVE BEEN MET.
 - 4.) ALL PROPOSED LOTS CONTAIN 30,000 SQUARE FEET OF SUITABLE LAND FOR BUILDING AS DEFINED IN ARTICLE VII, SECTION B.5 OF THE MANSFIELD ZONING REGULATIONS.
 - 5.) ALL STUMP BURIAL HOLES ON INDIVIDUAL LOTS SHALL COMPLY WITH THE STATE OF CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION SOLID WASTE REGULATIONS.
 - 6.) UNDERGROUND UTILITIES
 - A. ALL WIRED UTILITY LINES SERVING STRUCTURES ON NEW LOTS SHALL BE INSTALLED UNDERGROUND. UTILITY LINES SHALL BE INSTALLED IN A SUITABLE CONDUIT SYSTEM UNLESS THE RESPONSIBLE UTILITY COMPANY DETERMINES THAT DIRECT BURIAL IS MORE APPROPRIATE.
 - B. UPON APPROVAL BY THE RESPONSIBLE UTILITY COMPANY, PLANS SHALL BE SUBMITTED TO DEPICT THE LOCATION OF ALL UNDERGROUND UTILITY EASEMENT AREAS.
 - C. ALL UNDER PAVEMENT CONDUITS SHALL BE INSTALLED PRIOR TO THE PAVING OF ANY STREETS OR DRIVEWAYS.
 - 7.) UNLESS REVISIONS ARE SPECIFICALLY AUTHORIZED BY THE COMMISSION, THE BUILDING AREA ENVELOPE AS DEPICTED ON THESE FINAL PLANS SHALL SERVE AS THE SETBACK LINES FOR ALL FUTURE STRUCTURES AND SITE IMPROVEMENTS, PURSUANT TO ART. VII OF THE ZONING REGULATIONS.
 - 8.) PORTIONS OF THE DEPICTED BUILDING ENVELOPES ARE WITHIN AREAS REGULATED BY THE INLAND WETLAND AGENCY. ANY LAND DISTURBANCES WITHIN THESE AREAS THAT ARE NOT INCLUDED ON THE PLANS APPROVED BY THE INLAND WETLAND AGENCY MAY REQUIRE SUBSEQUENT APPROVAL BY THE AGENCY.
 - 9.) ALL LOTS REQUIRE THE REMOVAL OR FILLING OF LESS THAN 500 CUBIC YARDS OF MATERIAL FOR THE CONSTRUCTION OF THE PROPOSED HOUSE AND DRIVEWAY AND LESS THAN 300 CUBIC YARDS FOR THE SEPTIC FILL.
 - 10.) A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CONNECTICUT SHALL DESIGN ON-SITE SUBSURFACE DISPOSAL SYSTEMS FOR ALL LOTS IN THIS SUBDIVISION.
 - 11.) FOUNDATION DRAIN OUTLETS WITHIN 25 FEET OF PROPOSED SEPTIC SYSTEMS SHALL BE CONSTRUCTED OF SOLID PVC ASTM D 1785/ASTM D 2885 (OR EQUAL) WITH RUBBER GASKET JOINTS.
 - 12.) NO LOTS MAY BE SOLD UNTIL SUBDIVISION WORK IS COMPLETED AND APPROVED OR FULLY BONDED TO THE SATISFACTION OF THE MANSFIELD PLANNING AND ZONING COMMISSION.
 - 13.) DURING HOUSE CONSTRUCTION EFFORTS SHALL BE MADE TO RETAIN AND PRESERVE EXISTING STONE WALLS.
 - 14.) DRIVEWAY SIGHT LINES MEET OR EXCEED 200 FEET FOR ALL LOTS. NO PROPOSED DRIVES SLOPES EXCEED 15 PERCENT.

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

SITE DEVELOPMENT PLAN
FOR
SUBDIVISION
ENTITLED
BEACON HILL
SECTION II
WYLLYS FARM ROAD
MANSFIELD, CONNECTICUT

SUBDIVIDER
EAGLEVILLE DEVELOPMENT GROUP, LLC
100 WELLS STREET, SUITE 1D
HARTFORD, CONNECTICUT 06103

OWNER
GLADYS MARSHALL
31 ASPEN CIRCLE
BARNEGAT, NJ 08006

SCALE: 1" = 40' DATE: JULY 15, 2012

SHEET 4 OF 13

ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1367 FAX (860)456-1840

EDWARD PELLETIER, R.L.S. 14203

ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EXPRESSED SEAL OF THE SURVEYOR WITNESS REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE. NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.

JOB NO.: 211063

CREATED BY: _____ CHECKED BY: _____

SEE SHEET 6

SEE SHEET 3

SEE SHEET 5

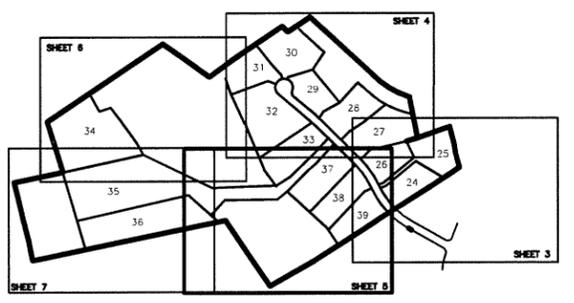
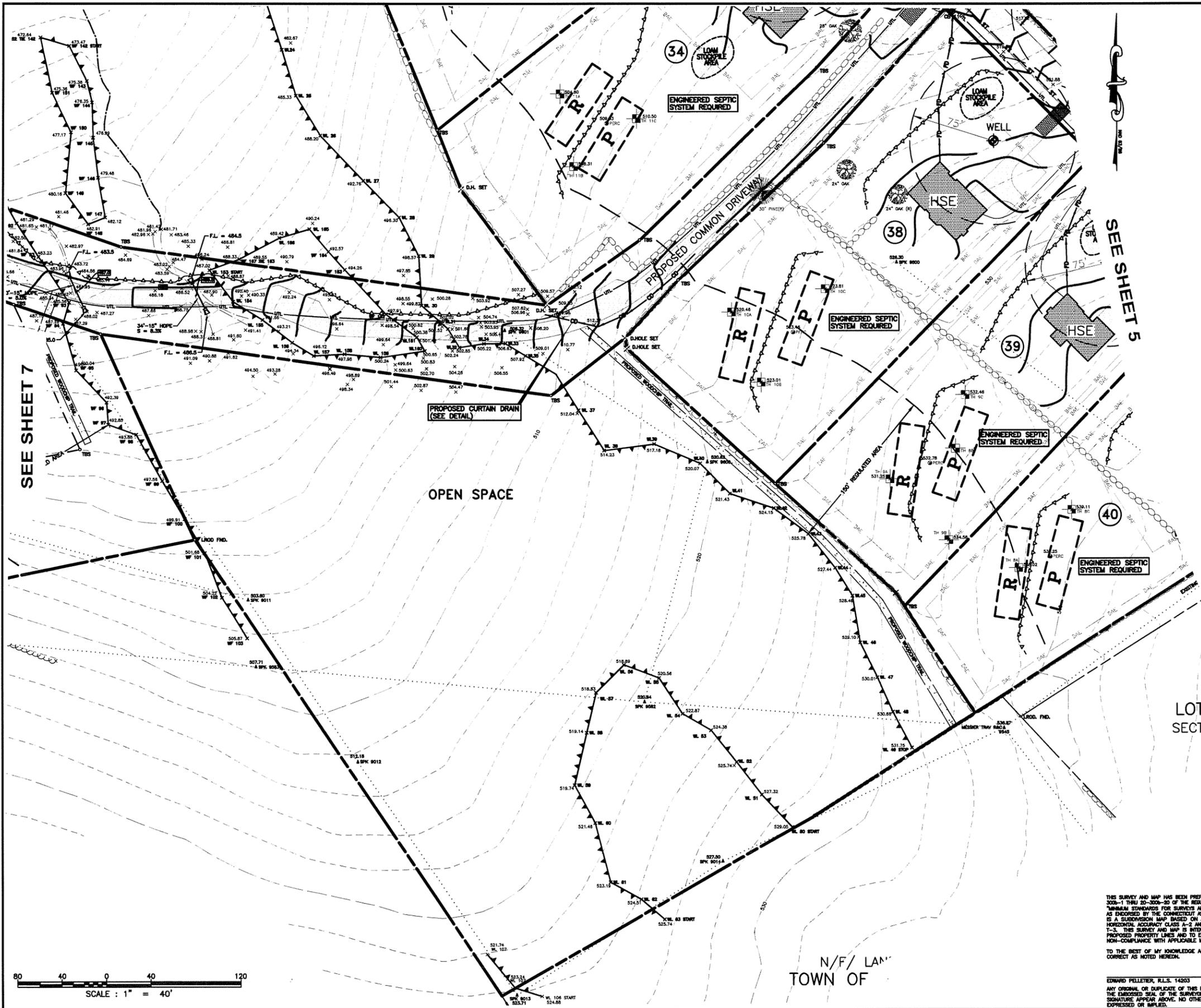
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CONCEPTUAL DESIGN OF PROPOSED IMPROVEMENTS HAVE BEEN REVIEWED BY THE UNDERSIGNED, A LICENSED LANDSCAPE ARCHITECT.

DATE: _____

JOHN P. IANNI

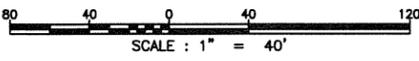
SCALE: 1" = 40'



SHEET KEY MAP
SCALE 1" = 500'

SEE SHEET 7

SEE SHEET 5



CONCEPTUAL DESIGN OF PROPOSED IMPROVEMENTS HAVE BEEN REVIEWED BY THE UNDERSIGNED, A LICENSED LANDSCAPE ARCHITECT.

JOHN ALEXOPOULOS _____ DATE _____

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JOHN P. WANNI _____ DATE _____

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

SITE DEVELOPMENT PLAN
FOR
SUBDIVISION
ENTITLED
BEACON HILL

SECTION II
WYLLYS FARM ROAD
MANSFIELD, CONNECTICUT

SUBDIVIDER
EAGLEVILLE DEVELOPMENT GROUP, LLC
100 WELLS STREET, SUITE 1D
HARTFORD, CONNECTICUT 06103

OWNER
GLADYS MARSHALL
31 ASPEN CIRCLE
BARNEGAT, NJ 08005

SCALE : 1" = 40' DATE: JULY 15, 2012

SHEET 5 OF 13

ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1957 FAX (860)456-1840

JOB NO.: 211053

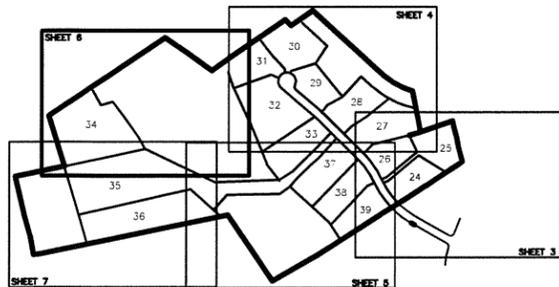
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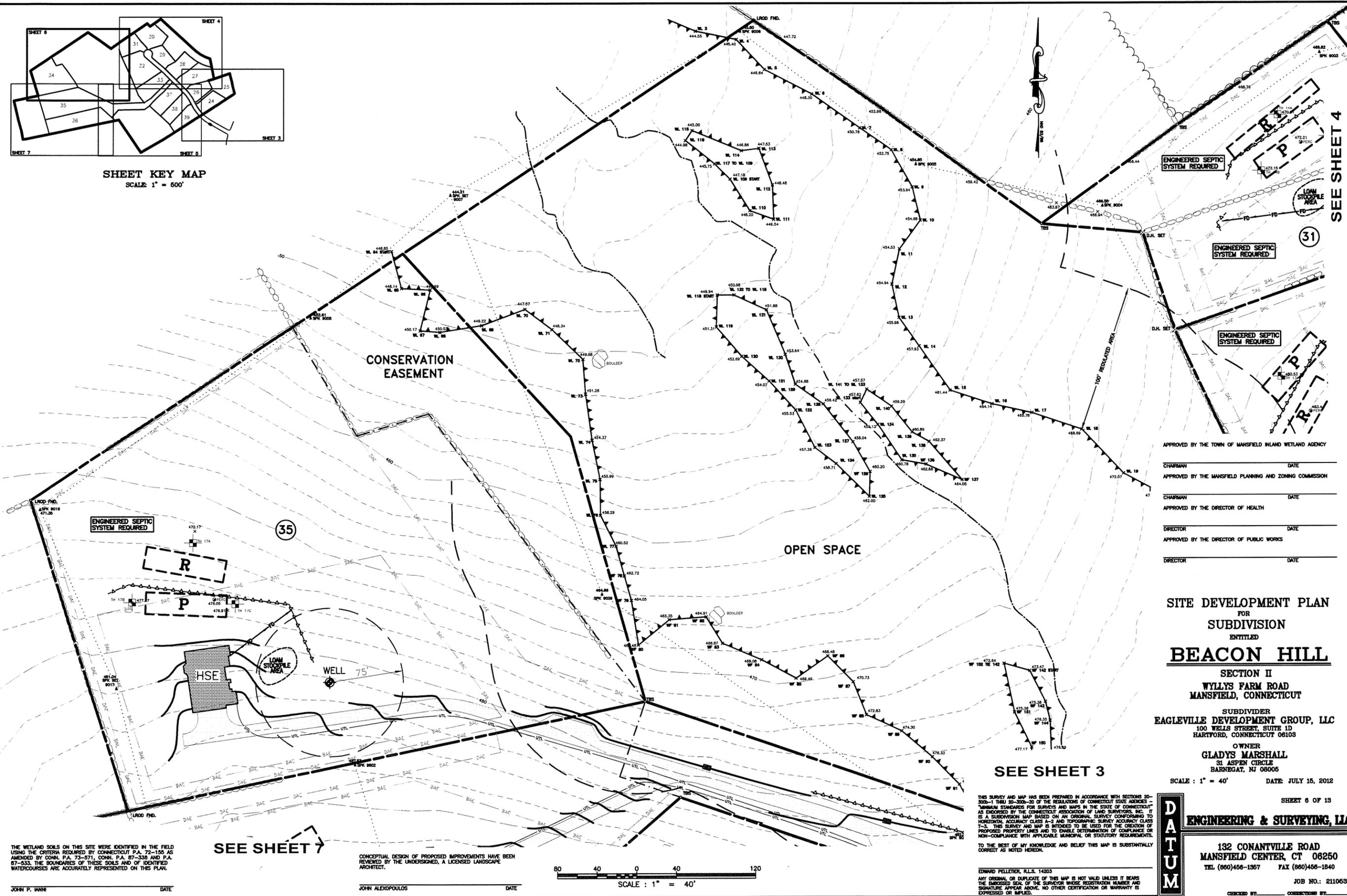
THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A SUBDIVISION MAP BASED ON AN ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC SURVEY ACCURACY CLASS T-3. THIS SURVEY AND MAP IS INTENDED TO BE USED FOR THE CREATION OF PROPOSED PROPERTY LINES AND TO ENABLE DETERMINATION OF COMPLIANCE OR NON-COMPLIANCE WITH APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS. TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

EDWARD PELLETIER, R.L.S. 14203
ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE. NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.

N/F/ LAN'
TOWN OF



SHEET KEY MAP
SCALE: 1" = 500'



APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____
 APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____
 APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____
 APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

SITE DEVELOPMENT PLAN
 FOR
SUBDIVISION
 ENTITLED
BEACON HILL
 SECTION II
 WYLLYS FARM ROAD
 MANSFIELD, CONNECTICUT

SUBDIVIDER
EAGLEVILLE DEVELOPMENT GROUP, LLC
 100 WELLS STREET, SUITE 1D
 HARTFORD, CONNECTICUT 06103

OWNER
GLADYS MARSHALL
 31 ASPEN CIRCLE
 BARNEGAT, NJ 08006

SCALE: 1" = 40' DATE: JULY 15, 2012

SEE SHEET 3

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - JURISDICTION STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A SUBDIVISION MAP BASED ON AN ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC SURVEY ACCURACY CLASS T-3. THIS SURVEY AND MAP IS INTENDED TO BE USED FOR THE CREATION OF PROPOSED PROPERTY LINES AND TO ENABLE DETERMINATION OF COMPLIANCE OR NON-COMPLIANCE WITH APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS. TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

EDWARD PELLETER, R.L.S. 14203

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DATUM

ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
 MANSFIELD CENTER, CT 06250
 TEL: (860)456-1367 FAX: (860)456-1840

CHECKED BY: _____ CORRECTIONS BY: _____

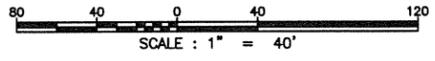
JOB NO.: 211053

THE WETLAND SOILS ON THIS SITE WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY CONN. P.A. 73-571, CONN. P.A. 87-338 AND P.A. 87-533. THE BOUNDARIES OF THESE SOILS AND OF IDENTIFIED WATERCOURSES ARE ACCURATELY REPRESENTED ON THIS PLAN.

JOHN P. WANN DATE _____

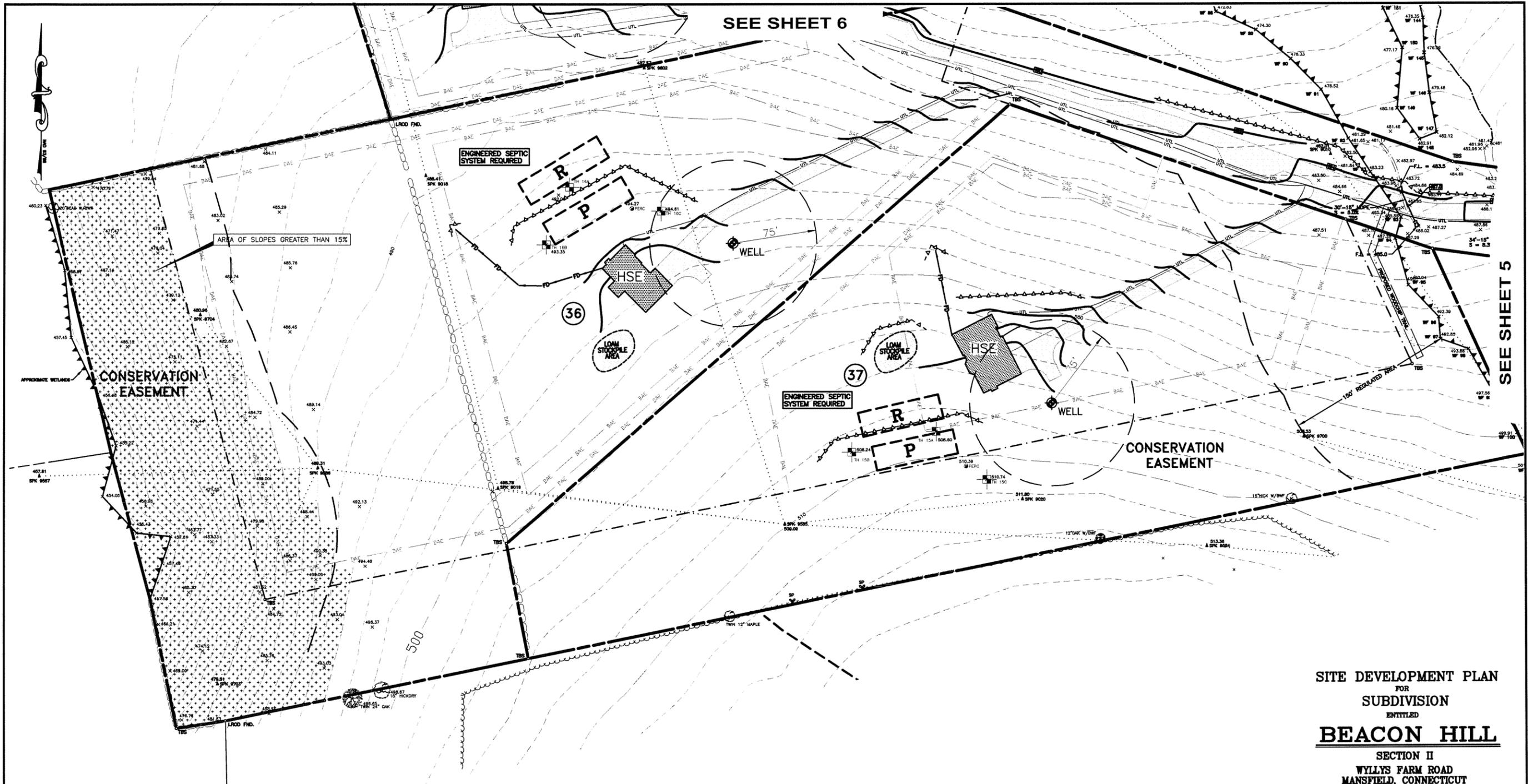
CONCEPTUAL DESIGN OF PROPOSED IMPROVEMENTS HAVE BEEN REVIEWED BY THE UNDERSIGNED, A LICENSED LANDSCAPE ARCHITECT.

JOHN ALEXOPOULOS DATE _____



SEE SHEET 4

SEE SHEET 7



SEE SHEET 6

SEE SHEET 5

**SITE DEVELOPMENT PLAN
FOR
SUBDIVISION
ENTITLED
BEACON HILL
SECTION II
WYLLYS FARM ROAD
MANSFIELD, CONNECTICUT**

**SUBDIVIDER
EAGLEVILLE DEVELOPMENT GROUP, LLC
100 WELLS STREET, SUITE 1D
HARTFORD, CONNECTICUT 06103**

**OWNER
GLADYS MARSHALL
31 ASPEN CIRCLE
BARNEGAT, NJ 08005**

SCALE : 1" = 40' DATE JULY 15, 2012

SHEET 7 OF 13

DATUM ENGINEERING & SURVEYING, LLC

**132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1867 FAX (860)456-1840**

JOB NO.: 211053

CHECKED BY: _____ CORRECTIONS BY: _____

CONCEPTUAL DESIGN OF PROPOSED IMPROVEMENTS HAVE BEEN REVIEWED BY THE UNDERSIGNED, A LICENSED LANDSCAPE ARCHITECT.

JOHN ALEXOPOULOS _____ DATE _____

THE WETLAND SOILS ON THIS SITE WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY CONN. P.A. 73-371, CONN. P.A. 87-338 AND P.A. 87-533. THE BOUNDARIES OF THESE SOILS AND OF IDENTIFIED WATERCOURSES ARE ACCURATELY REPRESENTED ON THIS PLAN.

JOHN P. IANNI _____ DATE _____

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH

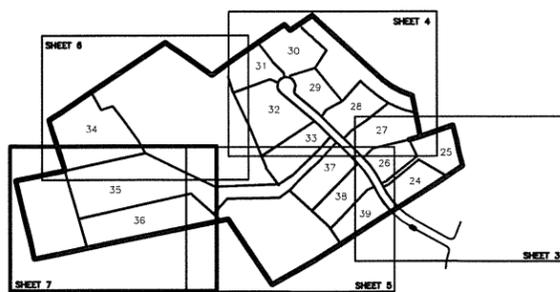
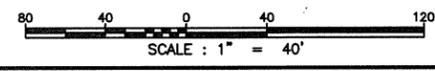
DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A SUBDIVISION MAP BASED ON AN ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC SURVEY ACCURACY CLASS T-3. THIS SURVEY AND MAP IS INTENDED TO BE USED FOR THE CREATION OF PROPOSED PROPERTY LINES AND TO ENABLE DETERMINATION OF COMPLIANCE OR NON-COMPLIANCE WITH APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS. TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

EDWARD PELLENER, R.L.S. 14203
ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE. NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.



**SHEET KEY MAP
SCALE: 1" = 500'**

TEST HOLE DATA

OBSERVED BY GEOFF HAWKINS ON JANUARY 25, 2012

TEST HOLE 1A
 0-8" TOPSOIL
 8-22" BROWN FINE SANDY LOAM
 22-78" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 25"
 ROOTS TO 23"
 SEEPAGE AT 28"
 NO LEDGE

TEST HOLE 1B
 0-8" TOPSOIL
 8-23" BROWN FINE SANDY LOAM
 23-84" GREY/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 23"
 ROOTS TO 22"
 SEEPAGE AT 29"
 NO LEDGE

TEST HOLE 1C
 0-8" TOPSOIL
 8-23" BROWN FINE SANDY LOAM
 23-70" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 23"
 ROOTS TO 22"
 SEEPAGE AT 28"
 NO LEDGE

TEST HOLE 1D
 0-8" TOPSOIL
 8-23" BROWN FINE SANDY LOAM
 23-74" GREY/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 23"
 ROOTS TO 22"
 SEEPAGE AT 27"
 NO LEDGE

TEST HOLE 1E
 0-13" TOPSOIL
 13-30" RED/BROWN FINE SANDY LOAM
 30-80" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 30"
 ROOTS TO 28"
 SEEPAGE AT 34"
 NO LEDGE

TEST HOLE 1F
 0-11" TOPSOIL
 11-20" BROWN FINE SANDY LOAM
 20-78" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 21"
 ROOTS TO 28"
 SEEPAGE AT 28"
 NO LEDGE

TEST HOLE DATA

OBSERVED BY GEOFF HAWKINS ON JANUARY 25, 2012

TEST HOLE 2A
 0-10" TOPSOIL
 10-28" BROWN FINE SANDY LOAM
 28-70" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM AT 37"
 MOTTLING AT 28"
 ROOTS TO 23"
 SEEPAGE AT 40"
 NO LEDGE

TEST HOLE 2B
 0-8" TOPSOIL
 8-22" BROWN FINE SANDY LOAM
 22-83" GREY/BROWN FINE SAND, SLIGHTLY FIRM AT 30"
 MOTTLING AT 30"
 ROOTS TO 28"
 SEEPAGE AT 30"
 NO LEDGE

TEST HOLE 2C
 0-8" TOPSOIL
 8-17" BROWN FINE SANDY LOAM
 17-81" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 24"
 ROOTS TO 14"
 SEEPAGE AT 32"
 NO LEDGE

TEST HOLE 2D
 0-10" TOPSOIL
 10-20" BROWN FINE SANDY LOAM
 20-81" OLIVE/BROWN FINE SAND, SLIGHTLY FIRM AT 28"
 MOTTLING AT 28"
 ROOTS TO 11"
 SEEPAGE AT 41"
 NO LEDGE

TEST HOLE 2E
 0-12" TOPSOIL
 12-38" BROWN FINE SANDY LOAM
 38-80" GREY/BROWN MED. SAND, SLIGHTLY FIRM AT 48"
 MOTTLING AT 48"
 ROOTS TO 33"
 SEEPAGE AT 41"
 NO LEDGE

TEST HOLE 2F
 0-7" TOPSOIL
 7-24" BROWN FINE SANDY LOAM
 24-81" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 24"
 ROOTS TO 21"
 SEEPAGE AT 23"
 NO LEDGE

TEST HOLE 2G
 0-7" TOPSOIL
 7-28" BROWN FINE SANDY LOAM
 28-79" OLIVE/BROWN FINE/MED. SAND, SLIGHTLY FIRM
 MOTTLING AT 25"
 ROOTS TO 20"
 SEEPAGE AT 25"
 NO LEDGE

TEST HOLE 2H
 0-23" BROWN FINE SANDY LOAM
 23-72" GREY/BROWN MED. SAND, SLIGHTLY FIRM
 MOTTLING AT 23"
 ROOTS TO 13"
 SEEPAGE AT 23"
 NO LEDGE

TEST HOLE 2I
 0-7" TOPSOIL
 7-30" BROWN FINE SANDY LOAM
 30-78" OLIVE/BROWN FINE/MED. SAND, SLIGHTLY FIRM
 MOTTLING AT 32"
 ROOTS TO 23"
 SEEPAGE AT 34"
 NO LEDGE

TEST HOLE 3A
 0-8" TOPSOIL
 8-28" BROWN FINE SANDY LOAM
 28-83" GREY/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 28"
 ROOTS TO 23"
 SEEPAGE AT 23"
 NO LEDGE

TEST HOLE 3B
 0-8" TOPSOIL
 8-23" BROWN FINE SANDY LOAM
 23-74" GREY/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 23"
 ROOTS TO 22"
 SEEPAGE AT 30"
 NO LEDGE

TEST HOLE 3C
 0-8" TOPSOIL
 8-23" BROWN FINE SANDY LOAM
 23-80" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 23"
 ROOTS TO 21"
 SEEPAGE AT 27"
 NO LEDGE

TEST HOLE 3D
 0-7" TOPSOIL
 7-20" BROWN FINE SANDY LOAM
 20-77" GREY/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 25"
 ROOTS TO 20"
 SEEPAGE AT 16"
 NO LEDGE

TEST HOLE 3E
 0-12" TOPSOIL
 12-17" BRICK RED FINE SANDY LOAM
 17-80" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 30"
 ROOTS TO 28"
 SEEPAGE AT 27"
 NO LEDGE

TEST HOLE 3F
 0-7" TOPSOIL
 7-23" BROWN FINE SANDY LOAM
 23-70" GREY/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 21"
 ROOTS TO 25"
 SEEPAGE AT 28"
 NO LEDGE

TEST HOLE 3G
 0-8" TOPSOIL
 8-20" BROWN FINE SANDY LOAM
 20-84" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM AT 37"
 MOTTLING AT 28"
 ROOTS TO 17"
 SEEPAGE AT 33"
 NO LEDGE

TEST HOLE 3H
 0-11" TOPSOIL
 11-27" BROWN FINE SANDY LOAM
 27-82" OLIVE/BROWN FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 27"
 ROOTS TO 20"
 SEEPAGE AT 30"
 NO LEDGE

TEST HOLE 3I
 0-10" TOPSOIL
 10-10" TOPSOIL
 10-24" BROWN FINE SANDY LOAM
 24-81" OLIVE/BROWN FINE SAND, SLIGHTLY FIRM AT 31"
 MOTTLING AT 31"
 ROOTS TO 16"
 SEEPAGE AT 28"
 NO LEDGE

TEST HOLE 3J
 0-12" TOPSOIL
 12-25" BROWN FINE SANDY LOAM
 25-73" OLIVE/BROWN FINE SAND
 MOTTLING AT 31"
 ROOTS TO 33"
 SEEPAGE AT 31"
 NO LEDGE

TEST HOLE 3K
 0-9" TOPSOIL
 9-32" BROWN FINE SANDY LOAM
 32-78" OLIVE/BROWN FINE SAND, SLIGHTLY FIRM AT 34"
 MOTTLING AT 34"
 ROOTS TO 32"
 SEEPAGE AT 39"
 NO LEDGE

TEST HOLE 3L
 0-8" TOPSOIL
 8-24" BROWN FINE SANDY LOAM
 24-84" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 32"
 ROOTS TO 20"
 SEEPAGE AT 32"
 NO LEDGE

TEST HOLE 3M
 0-8" TOPSOIL
 8-24" BROWN FINE SANDY LOAM
 24-84" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 32"
 ROOTS TO 20"
 SEEPAGE AT 32"
 NO LEDGE

TEST HOLE 4A
 0-8" TOPSOIL
 8-28" BROWN FINE SANDY LOAM
 28-73" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 24"
 ROOTS TO 25"
 SEEPAGE AT 24"
 NO LEDGE

TEST HOLE 4B
 0-8" TOPSOIL
 8-18" BROWN FINE SANDY LOAM
 18-80" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 25"
 ROOTS TO 24"
 SEEPAGE AT 25"
 NO LEDGE

TEST HOLE 4C
 0-8" TOPSOIL
 8-28" BROWN FINE SANDY LOAM
 28-79" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 33"
 ROOTS TO 21"
 SEEPAGE AT 36"
 NO LEDGE

TEST HOLE 4D
 0-8" TOPSOIL
 8-20" BROWN FINE SANDY LOAM
 20-72" GREY/BROWN LOAMY FINE SAND, SLIGHTLY FIRM AT 46"
 MOTTLING AT 28"
 ROOTS TO 24"
 SEEPAGE AT 33"
 NO LEDGE

TEST HOLE 4E
 0-9" TOPSOIL
 9-20" BROWN FINE SANDY LOAM
 20-80" GREY/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 28"
 ROOTS TO 19"
 SEEPAGE AT 36"
 NO LEDGE

TEST HOLE 4F
 0-10" TOPSOIL
 10-31" BROWN FINE SANDY LOAM
 31-88" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM
 MOTTLING AT 21"
 ROOTS TO 34"
 SEEPAGE AT 29"
 NO LEDGE

TEST HOLE 4G
 0-8" TOPSOIL
 8-20" BROWN FINE SANDY LOAM
 20-84" OLIVE/BROWN LOAMY FINE SAND, SLIGHTLY FIRM AT 32"
 MOTTLING AT 32"
 ROOTS TO 17"
 SEEPAGE AT 32"
 NO LEDGE

TEST HOLE 4H
 0-10" TOPSOIL
 10-29" BROWN FINE SANDY LOAM
 29-74" OLIVE/BROWN MED. SAND, MOTTLED
 MOTTLING AT 31"
 ROOTS TO 13"
 SEEPAGE AT 31"
 NO LEDGE

TEST HOLE 4I
 0-16" TOPSOIL
 16-31" BROWN FINE SANDY LOAM
 31-84" OLIVE/BROWN MED. SAND
 MOTTLING AT 31"
 ROOTS TO 30"
 SEEPAGE AT 33"
 NO LEDGE

TEST HOLE 4J
 0-10" TOPSOIL
 10-25" BROWN FINE SANDY LOAM
 25-82" OLIVE/BROWN MED. SAND, SLIGHTLY FIRM AT 39"
 MOTTLING AT 31"
 ROOTS TO 10"
 SEEPAGE AT 31"
 NO LEDGE

TEST HOLE 4K
 0-8" TOPSOIL
 8-22" BROWN FINE SANDY LOAM
 22-84" OLIVE/BROWN FINE/MED. SAND, SLIGHTLY FIRM
 MOTTLING AT 30"
 ROOTS TO 28"
 SEEPAGE AT 26"
 NO LEDGE

TEST HOLE 4L
 0-8" TOPSOIL
 8-30" BROWN FINE SANDY LOAM
 30-78" OLIVE/BROWN FINE/MED. SAND, SLIGHTLY FIRM
 MOTTLING AT 30"
 ROOTS TO 27"
 SEEPAGE AT 33"
 NO LEDGE

TEST HOLE 4M
 0-12" TOPSOIL
 12-34" BROWN FINE SANDY LOAM
 34-78" OLIVE/BROWN FINE/MED. SAND, SLIGHTLY FIRM
 MOTTLING AT 33"
 ROOTS TO 23"
 SEEPAGE AT 33"
 NO LEDGE

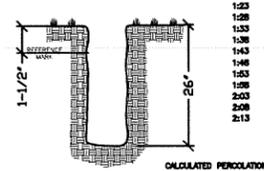
SIZING SUBSURFACE DISPOSAL SYSTEMS (FOUR BEDROOMS)

LOT NO.	SLOPE (%)	RESTRICTIVE LAYER (INCHES)	HYDRAULIC FACTOR	FLOW FACTOR	PERCOLATION FACTOR	REQUIRED MLSS (L.F.)	REQUIRED AREA (SQ.FT.)	TRENCHES PROVIDED (L.F.)
24	5	28	30	2.0	1.2	72	660	3 AT 74
25	7	24	30	2.0	1.2	72	660	3 AT 74
26	6.3	25	30	2.0	1.2	72	660	3 AT 74
27	7.2	23	30	2.0	1.2	72	660	3 AT 74
28	6.9	28	28	2.0	1.2	67.2	660	3 AT 74
29	7.2	26	30	2.0	1.2	72	660	3 AT 74
30	5.4	23	34	2.0	1.2	81.6	660	3 AT 82
31	5.1	24	34	2.0	1.0	68	660	3 AT 74
32	6.1	23	30	2.0	1.0	60	660	3 AT 74
33	6.7	31	24	2.0	1.2	57.6	660	3 AT 74
34	7.6	32	28	2.0	1.2	62.4	660	3 AT 74
35	6.3	23	34	2.0	1.2	61.6	660	3 AT 82
36	4	29	34	2.0	1.2	61.6	660	3 AT 82
37	4.8	29	30	2.0	1.0	60	660	3 AT 74
38	4	27	34	2.0	1.2	61.6	660	3 AT 82
39	5.7	24	34	2.0	1.2	61.6	660	3 AT 82
40	5	24	34	2.0	1.2	61.6	660	3 AT 82

PERCOLATION TEST

CONDUCTED BY DATUM ENGINEERING & SURVEYING, L.L.C.

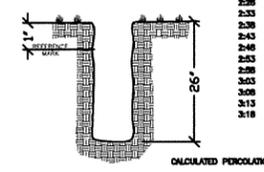
LOT 24



PERCOLATION TEST

CONDUCTED BY DATUM ENGINEERING & SURVEYING, L.L.C.

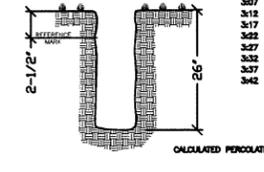
LOT 25



PERCOLATION TEST

CONDUCTED BY DATUM ENGINEERING & SURVEYING, L.L.C.

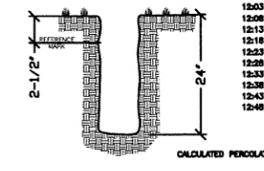
LOT 26



PERCOLATION TEST

CONDUCTED BY DATUM ENGINEERING & SURVEYING, L.L.C.

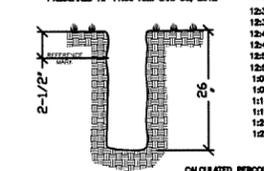
LOT 27



PERCOLATION TEST

CONDUCTED BY DATUM ENGINEERING & SURVEYING, L.L.C.

LOT 28



PERCOLATION TEST

CONDUCTED BY DATUM ENGINEERING & SURVEYING, L.L.C.

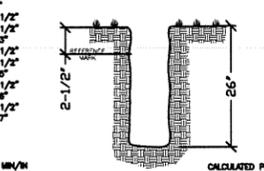
LOT 29



PERCOLATION TEST

CONDUCTED BY DATUM ENGINEERING & SURVEYING, L.L.C.

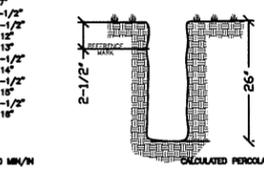
LOT 25



PERCOLATION TEST

CONDUCTED BY DATUM ENGINEERING & SURVEYING, L.L.C.

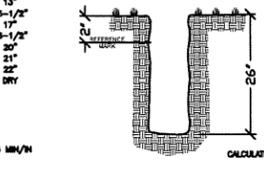
LOT 29

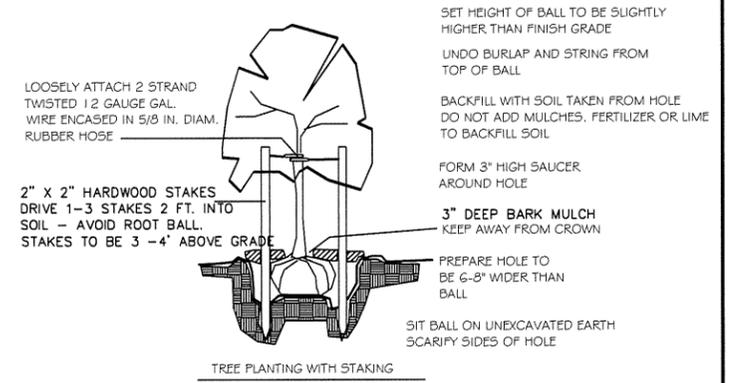
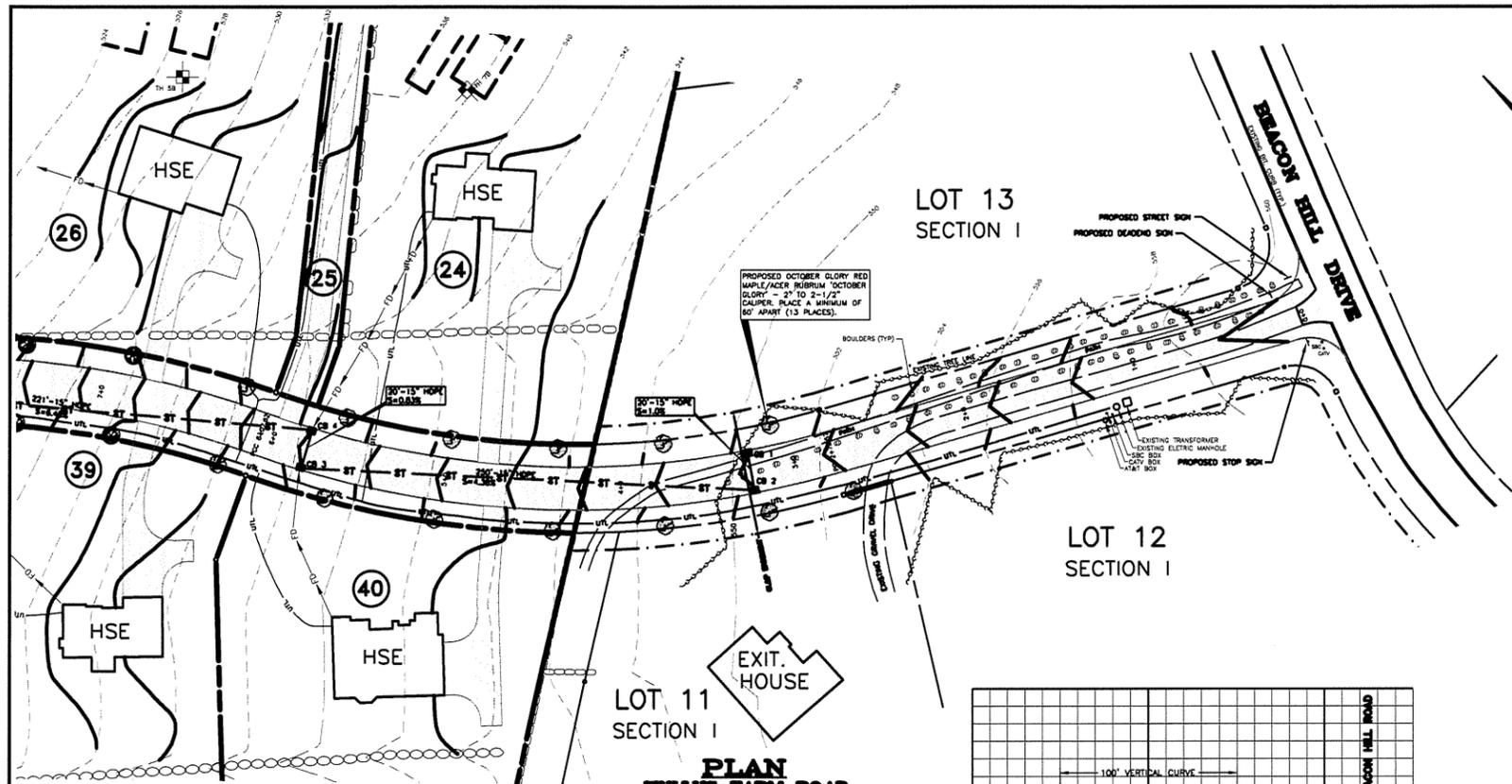


PERCOLATION TEST

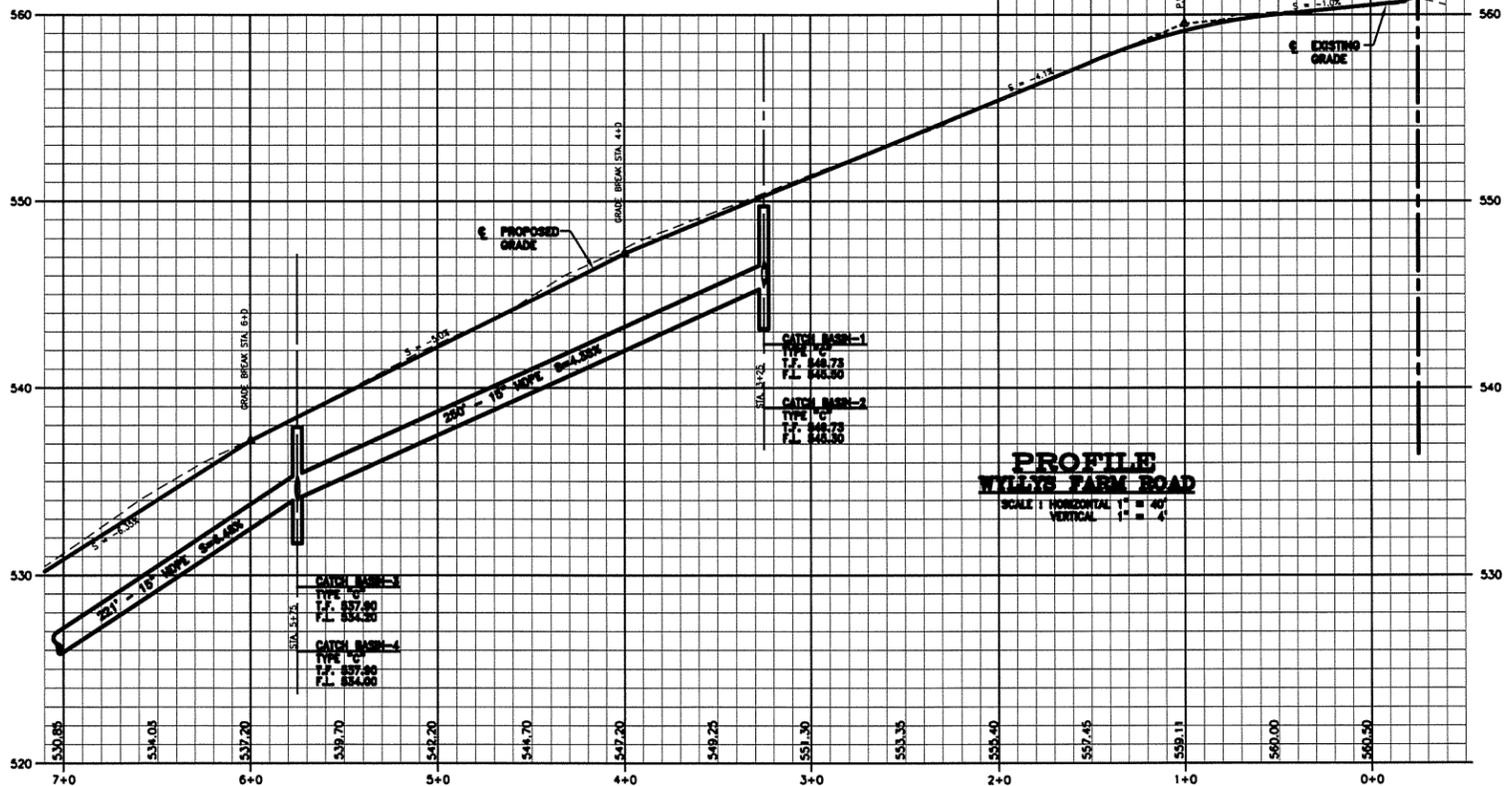
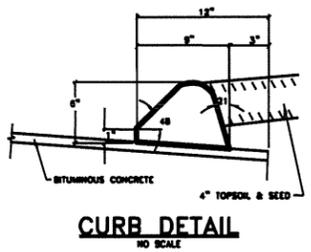
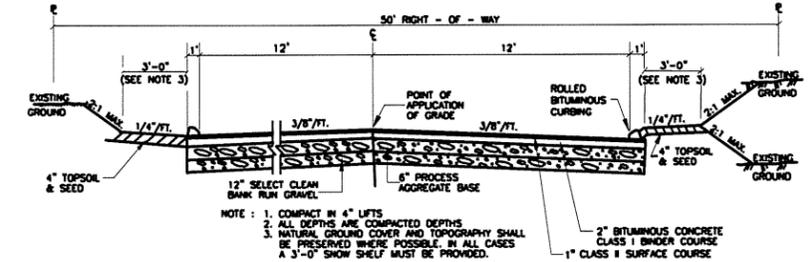
CONDUCTED BY DATUM ENGINEERING & SURVEYING, L.L.C.

LOT 33





PLANTING DETAIL - NOT TO SCALE



APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____
APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____
APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____
APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

CONCEPTUAL DESIGN OF PROPOSED IMPROVEMENTS HAVE BEEN REVIEWED BY THE UNDERSIGNED, A LICENSED LANDSCAPE ARCHITECT.

JOHN ALEXOPOULOS _____ DATE _____

PLAN & PROFILE FOR SUBDIVISION ENTITLED BEACON HILL

SECTION II
WYLLYS FARM ROAD
MANSFIELD, CONNECTICUT

SUBDIVIDER
EAGLEVILLE DEVELOPMENT GROUP, LLC
100 WELLS STREET, SUITE 1D
HARTFORD, CONNECTICUT 06103

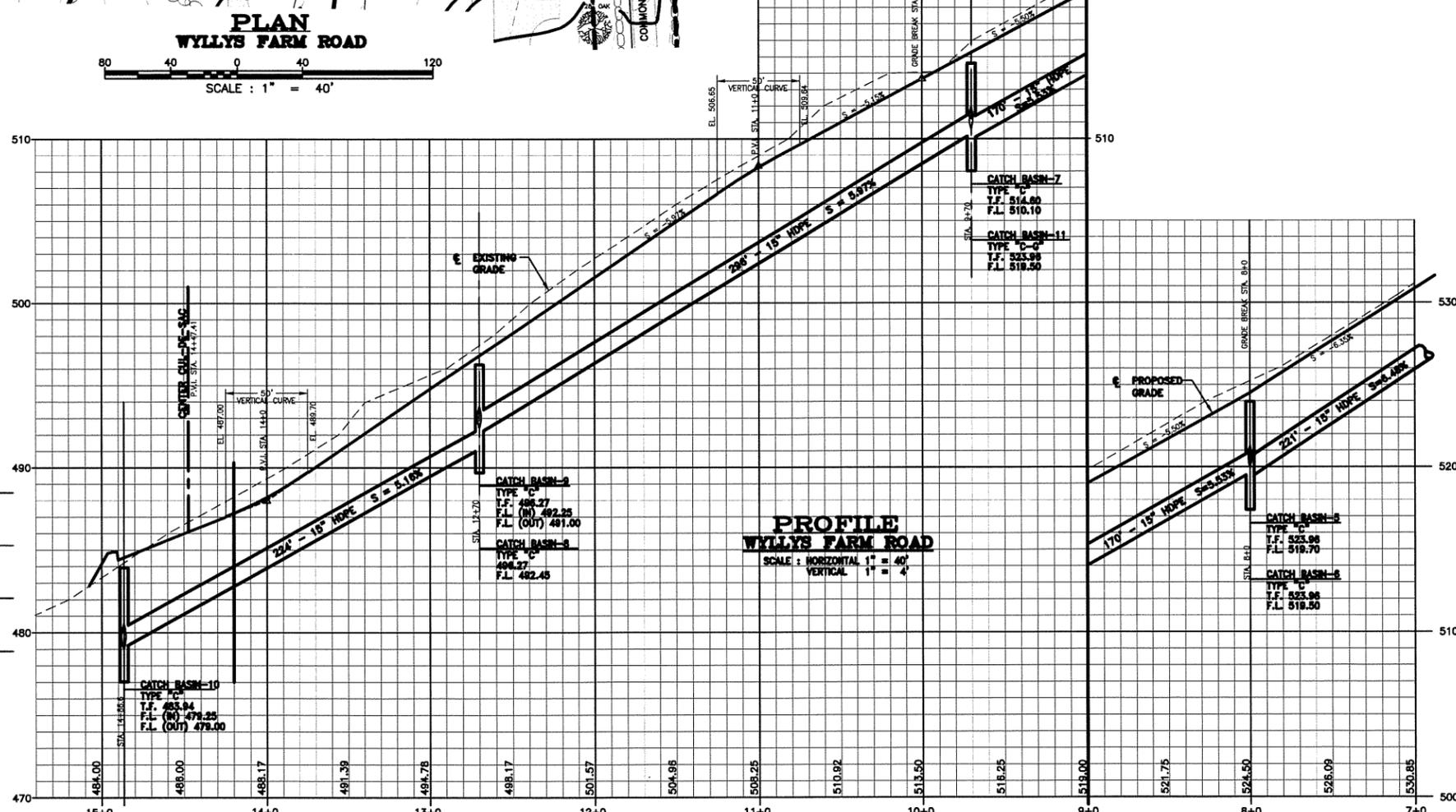
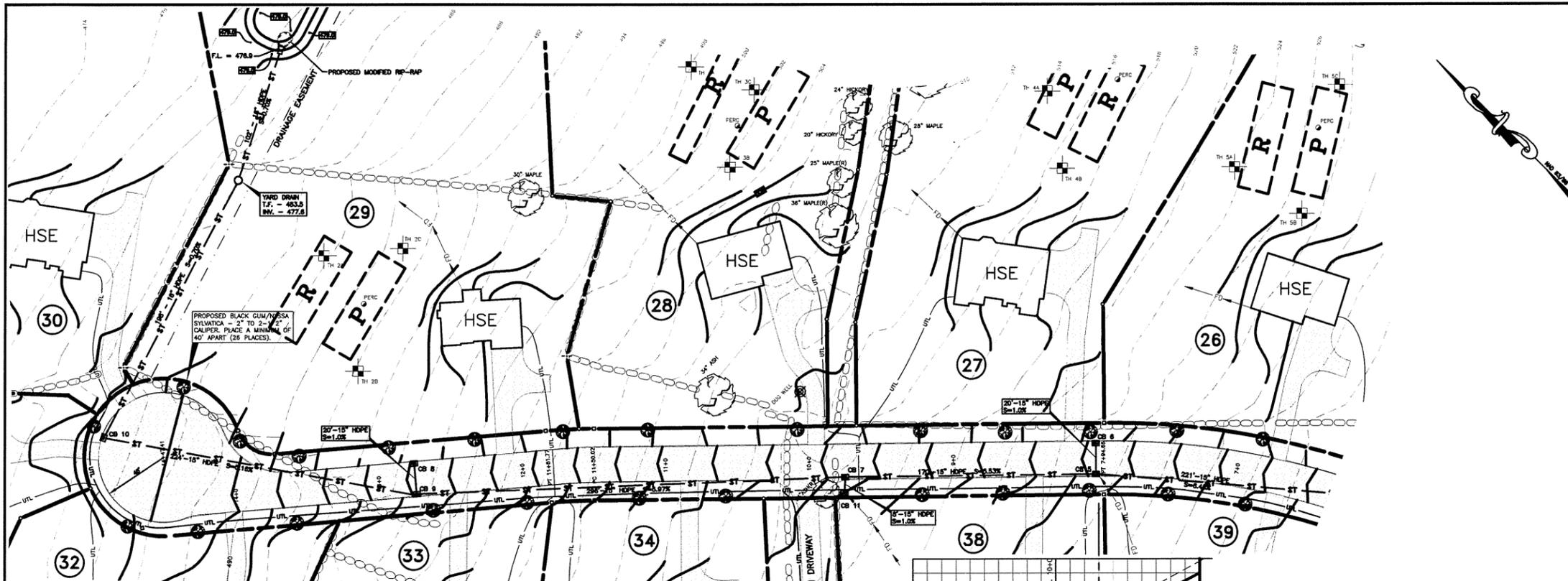
OWNER
GLADYS MARSHALL
31 ASPEN CIRCLE
BARNEGAT, NJ 08005

SCALE: 1" = 40' DATE: JULY 15, 2012

DATUM ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1357 FAX (860)456-1840

JOB NO.: 211053
CHECKED BY: _____ CORRECTIONS BY: _____



APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

CONCEPTUAL DESIGN OF PROPOSED IMPROVEMENTS HAVE BEEN REVIEWED BY THE UNDERSIGNED, A LICENSED LANDSCAPE ARCHITECT.

JOHN ALEXOPOULOS _____ DATE _____

PLAN & PROFILE
FOR
SUBDIVISION
ENTITLED
BEACON HILL
SECTION II
WYLLYS FARM ROAD
MANSFIELD, CONNECTICUT

SUBDIVIDER
EAGLEVILLE DEVELOPMENT GROUP, LLC
100 WELLS STREET, SUITE 110
HARTFORD, CONNECTICUT 06103

OWNER
GLADYS MARSHALL
31 ASPEN CIRCLE
BARNEGAT, NJ 08005

SCALE: 1" = 40' DATE: JULY 15, 2012

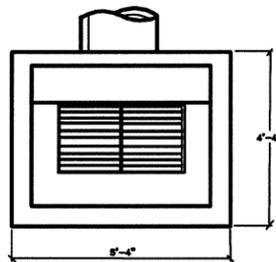
SHEET 10 OF 13

DAIUM ENGINEERING & SURVEYING, LLC

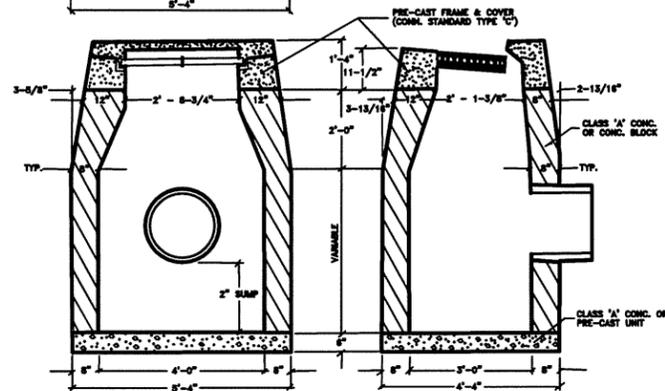
132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL: (860)456-1367 FAX: (860)456-1840

JOB NO.: 211053

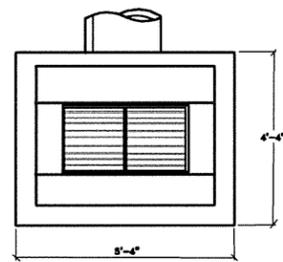
CHECKED BY: _____ CORRECTIONS BY: _____



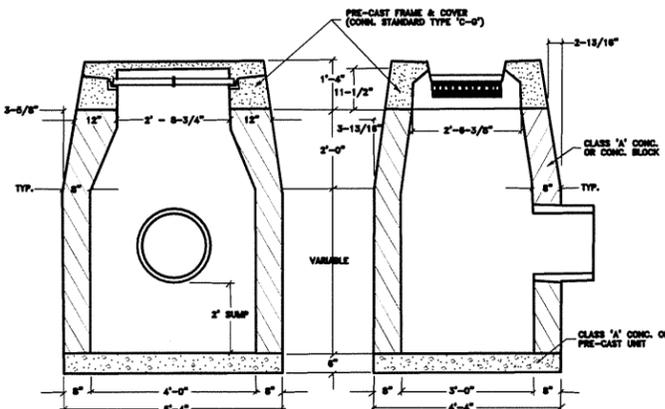
CONCL. TYPE "C" TOP SHOWN
USE TYPE "C-1" TOP FOR
LAWN AREA BASINS.



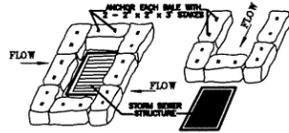
**CONN. STATE STANDARD
CATCH BASIN**
NO SCALE



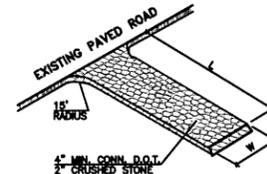
CONCL. TYPE "C-0" TOP SHOWN



**CONN. STATE STANDARD
CATCH BASIN - TYPE "C-G"**
NO SCALE

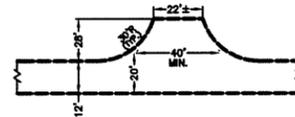


**HAY BALE INSTALLATION
AT CATCH BASIN**
NOT TO SCALE

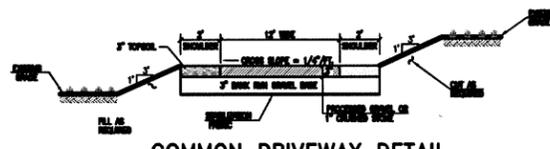


ANTI-TRACKING PAD DETAIL
NOT TO SCALE

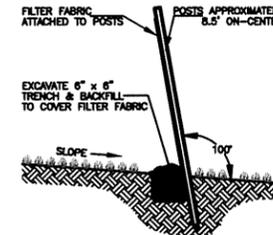
APPLICATION	L	W
ROAD CONSTRUCTION	50'	15'
DRIVEWAY CONSTRUCTION	26'	10'



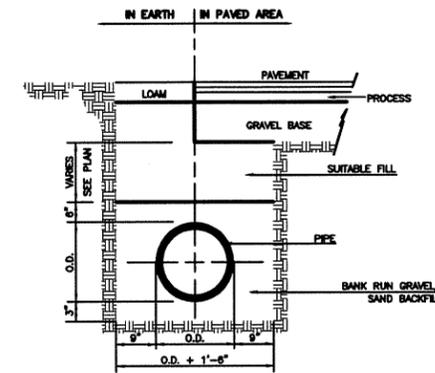
**EMERGENCY VEHICLE TURNAROUND
& VEHICLE PULL-OFF AREA**
NOT TO SCALE



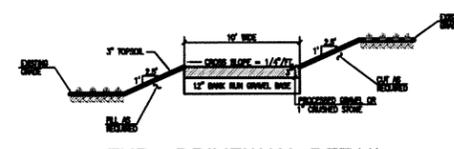
COMMON DRIVEWAY DETAIL
NOT TO SCALE



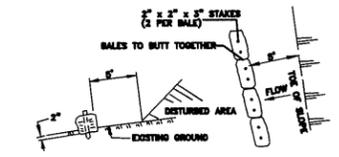
SILT FENCE DETAIL
NOT TO SCALE



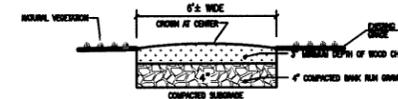
STORM SEWER TRENCH SECTION
NO SCALE



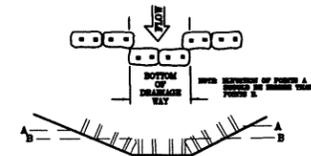
TYP. DRIVEWAY DETAIL
NOT TO SCALE



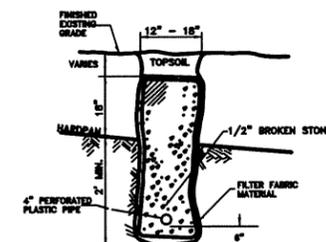
HAY BALE BERM FOR SLOPES
NO SCALE



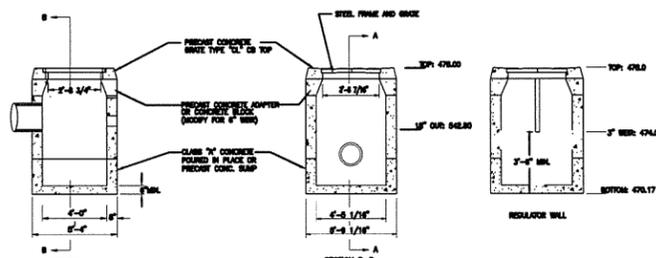
FOOT PATH DETAIL
NOT TO SCALE



HAY BALE CHECK DAM
NOT TO SCALE



CURTAIN DRAIN DETAIL
NO SCALE



OUTLET STRUCTURE DETAIL
NOT TO SCALE

**DETAIL SHEET
FOR
SUBDIVISION
ENTITLED
BEACON HILL**

**SECTION II
WYLLYS FARM ROAD
MANSFIELD, CONNECTICUT**

SUBDIVIDER
EAGLEVILLE DEVELOPMENT GROUP, LLC
100 WELLS STREET, SUITE 1D
HARTFORD, CONNECTICUT 06103

OWNER
GLADYS MARSHALL
31 ASPEN CIRCLE
BARNEGAT, NJ 08006

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

SCALE: AS NOTED DATE: JULY 15, 2012

SHEET 11 OF 13

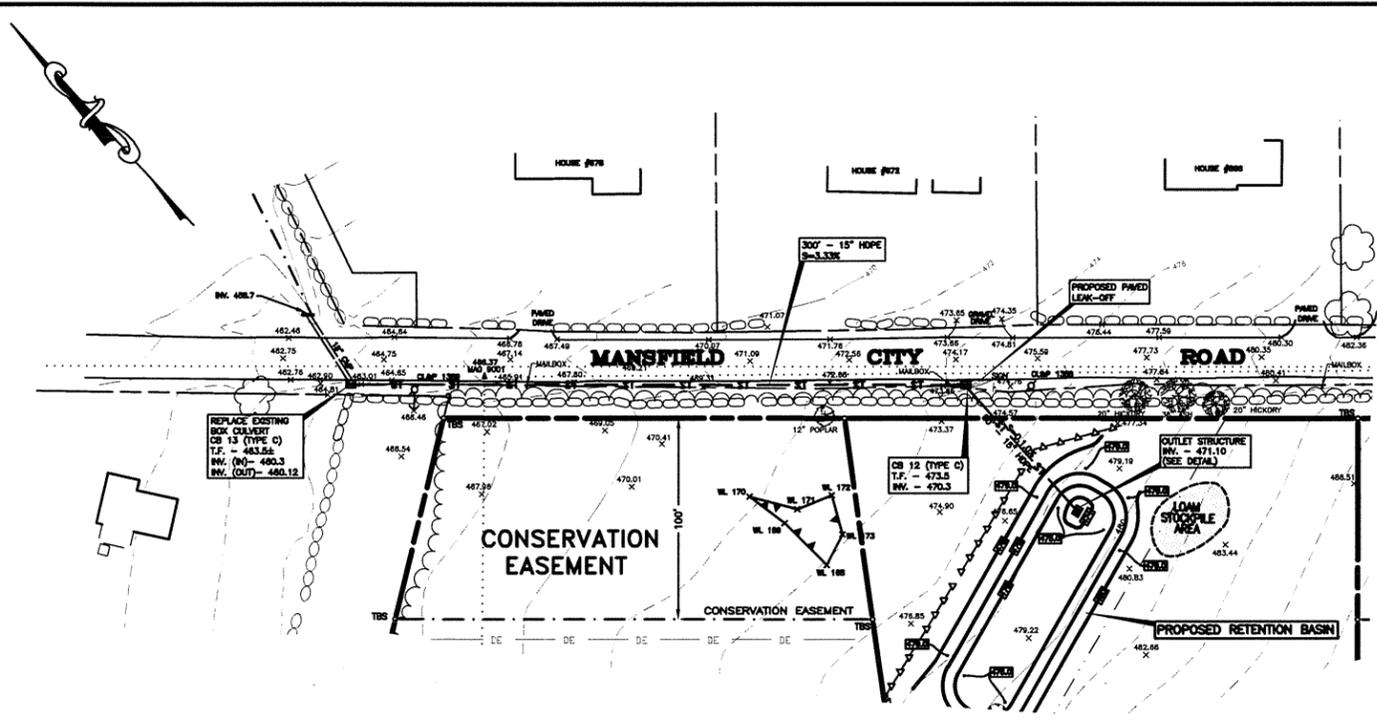
DATUM

ENGINEERING & SURVEYING, LLC

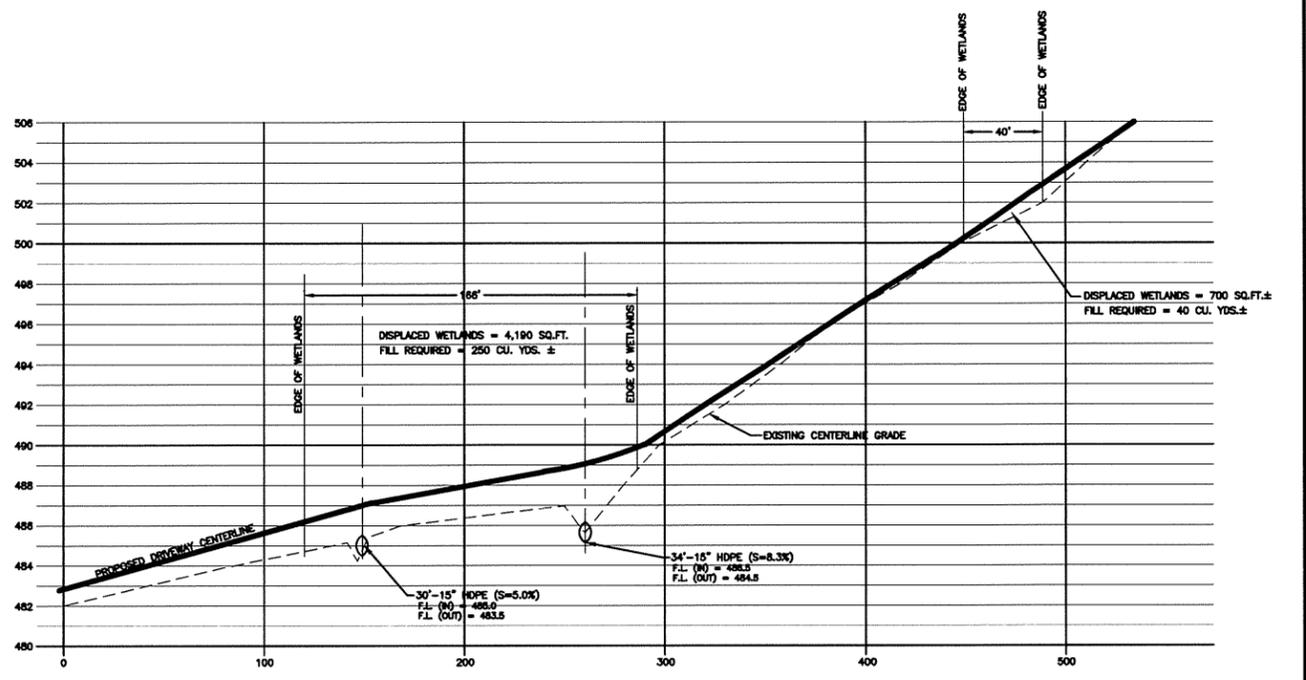
132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1367 FAX (860)456-1840

JOB NO.: 211053

CHECKED BY: _____ CORRECTIONS BY: _____

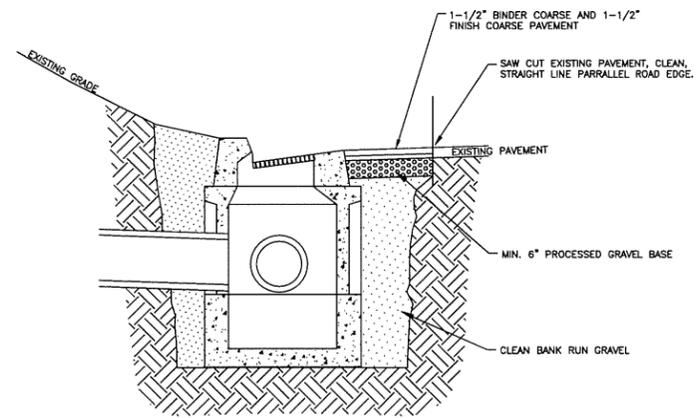


MANSFIELD CITY ROAD - STORM DRAINAGE IMPROVEMENTS

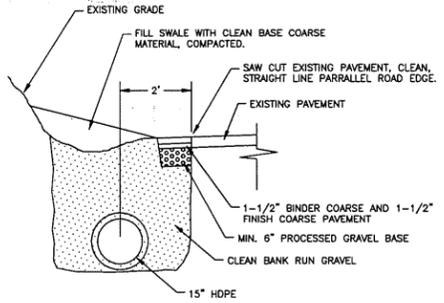


COMMON DRIVEWAY

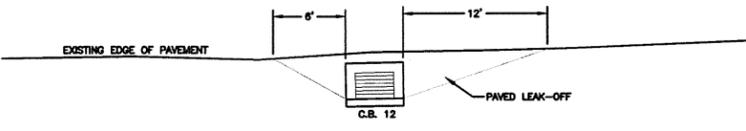
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'



MANSFIELD CITY ROAD - CATCH BASIN DETAIL
NO SCALE



MANSFIELD CITY ROAD - TRENCH DETAIL
NO SCALE



MANSFIELD CITY ROAD - PAVED LEAK-OFF
NO SCALE

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____

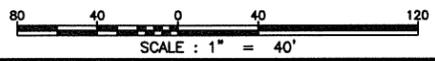
APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____



DETAIL SHEET
FOR
SUBDIVISION
ENTITLED
BEACON HILL
SECTION II
WYLLYS FARM ROAD
MANSFIELD, CONNECTICUT

SUBDIVIDER
EAGLEVILLE DEVELOPMENT GROUP, LLC
100 WELLS STREET, SUITE 1D
HARTFORD, CONNECTICUT 06103

OWNER
GLADYS MARSHALL
31 ASPEN CIRCLE
BARNEGAT, NJ 08005

SCALE: 1" = 40' DATE: JULY 16, 2012

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A SUBDIVISION MAP BASED ON AN ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC SURVEY ACCURACY CLASS T-3. THIS SURVEY AND MAP IS INTENDED TO BE USED FOR THE CREATION OF PROPOSED PROPERTY LINES AND TO ENABLE DETERMINATION OF COMPLIANCE OR NON-COMPLIANCE WITH APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS.

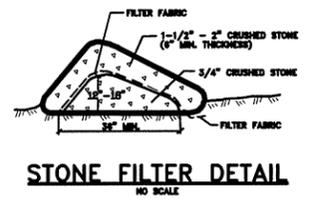
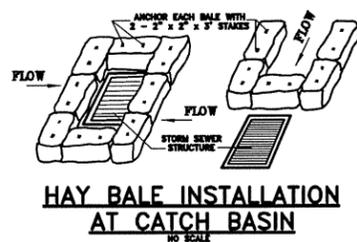
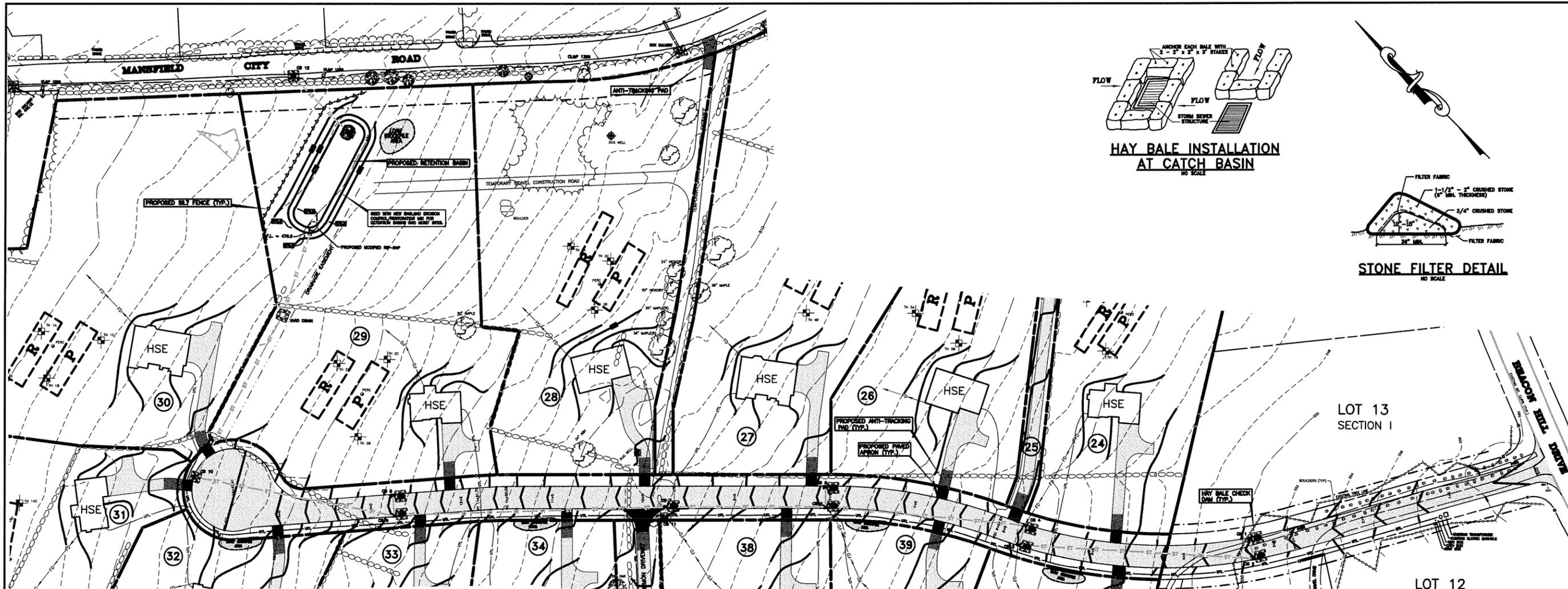
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DATUM

ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL: (860)456-1367 FAX: (860)456-1840

JOB NO.: 211053
CHECKED BY: _____ CORRECTIONS BY: _____



I. SEDIMENTATION AND EROSION CONTROL

THIS CONSTRUCTION PLAN PROPOSES EROSION CONTROL MEASURES WHICH WILL PERFORM ONE OR MORE OF THE FOLLOWING FUNCTIONS: MINIMIZE SOIL EXPOSURE, CONTROL RUNOFF, AND PROTECT END SOILS. PROPER EROSION MANAGEMENT WILL MINIMIZE THE EROSION, BUT IT MUST BE UNDERSTOOD THAT ONLY "REASONABLE" EROSION CONTROL CAN BE EXPECTED. TRAIL, EVEN WITH THE BEST OF PLANS, SOME EROSION MUST BE ANTICIPATED. SEDIMENTATION CONTROLS ARE THE SECONDARY LINE OF DEFENSE ON THE CONSTRUCTION SITE.

RUNOFF SHALL BE CONTROLLED BY INTERCEPTION, DIVERSION AND SAFE DISPOSAL OF PRECIPITATION. RUNOFF SHALL ALSO BE CONTROLLED BY STAGING CONSTRUCTION ACTIVITY AND BY PRESERVING EXISTING VEGETATION WHENEVER POSSIBLE. THE BINDING OF SOIL PARTICLES TO MAKE THEM LESS SUSCEPTIBLE TO REMOVAL BY HIGH SPLASH OR RUNOFF IS SUGGESTED BY THE USE OF NATURAL AND PHYSICAL "BUNDERS" (MULCHES AND FABRICS) WHERE APPLICABLE.

LEVEL SPREADER DEVICES SHALL BE CREATED BY PLACING SILT FENCING DOWN GRADIENT OF SOIL DISTURBING ACTIVITIES. THIS FLOW WILL BE DISPERSED OVER A WIDE AREA AND FILTERED BY THE FABRIC. THE FENCE SHALL FOLLOW THE EXISTING CONTOURS WITH THE ENDS OF THE FENCE TURNED UPHILL TO PREVENT END CUTTING.

IN AN EFFORT TO REDUCE THE POTENTIAL FOR TRACKING MUD OFF THE SITE, A COURSE STONE "ANTI-TRACKING PAD" AND IMMEDIATE PLACEMENT OF THE GRAVEL SUBBASE WILL MINIMIZE ANY OFF-SITE TRACKING. ACCUMULATED DIRT TRACKED ONTO BROWNS ROAD SHALL BE REMOVED BY SHOVEL AND BROOM AT THE END OF EACH WORK DAY.

EXHAUSTION WHICH MUST BE DETERMINED WILL BE PUMPED INTO AN ACTIVE DRAINAGE SYSTEM OR INTO A SEDIMENT BASIN. DEBRIS AND OTHER WASTE RESULTING FROM EQUIPMENT MAINTENANCE AND CONSTRUCTION SHALL NOT BE DISCARDED ON SITE.

ON A DAILY BASIS, ALL SEDIMENT AND EROSION CONTROLS WILL BE INSPECTED BY THE ENGINEER OR ENVIRONMENTAL SUPERVISOR. ANY CORRECTIVE MEASURES TO MITIGATE ENVIRONMENTAL CONCERNS WILL BE ORDERED AT THAT TIME. THERE WILL BE 50 FEET OF SILT FENCE WITH THE REQUIRED POSTS ON HAND FOR EMERGENCY SITUATIONS.

IN THE EVENT OF CONFLICT BETWEEN THESE PLANS AND OTHER REGULATIONS, THE MORE STRINGENT SHALL APPLY.

II. ROAD CONSTRUCTION SEQUENCE AND DETAILED EROSION CONTROL MEASURES

1. SURVEYOR SHALL FIELD STAKE THE CENTER LINE OF THE PROPOSED WYLLYS FARM ROAD AND TEMPORARY CONSTRUCTION ENTRANCE AND THE LIMITS OF PROPOSED GRADING INCLUDING DRAINAGE. TREES IN LINE TO BE SAVED ARE TO BE FLAGGED AND PROTECTED. ALL REMAINING VEGETATION INCLUDING OVERHANGING LIMBS FROM TREES TO BE SAVED SHALL BE CHIPPED AND SUCH CHIPS STORED IN NON-GRASS AREAS ALONG THE RIGHT OF WAY FOR FUTURE USE AS MULCH. CORD WOOD SHALL BE REMOVED FROM THE CLEARED AREAS SHALL BE REMOVED FROM THE SITE.

2. SILT FENCING SHALL BE INSTALLED IN THE LOCATION SHOWN ON THE PLAN. STUMPS SHALL BE REMOVED ALONG THE PROPOSED ROWS WITHIN THE AREA CLEARED. STUMPS SHALL BE CHIPPED IN PLACE AND MIXED WITH THE TOPSOIL OR STOCKPILED TEMPORARILY IN NON-GRASS AREAS. NO STUMPS SHALL BE BURIED ON-SITE. STUMPS SHALL BE REMOVED AND DISPOSED OF IN A BULKY WASTE DISPOSAL AREA APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

3. CONTRACTOR SHALL PROCEED WITH ATTENDING SUBBASE GRADINGS ALONG THE FIRST 200' + OF CONSTRUCTION ENTRANCE. THE ANTI-TRACKING PAD SHALL BE INSTALLED AT THE ENTRANCE PRIOR TO ANY ADDITIONAL SOIL DISTURBANCE. CONTRACTOR SHALL STOP TOPSOIL AND SUBSOIL ALONG WYLLYS FARM ROAD AND STOCKPILE TOPSOIL AND SUBSOIL WITHIN THE SCHEDULED OPEN SPACE IN THE AREAS DESIGNATED AS "LOW STOCKPILE AREA". INSTALL SILT FENCING IMMEDIATELY ON THE DOWN GRADIENT SIDE OF THE PILES.

4. CONTRACTOR SHALL PROCEED WITH THE INSTALLATION OF THE DRAINAGE SYSTEM ALONG MANSFIELD CITY ROAD AND RETENTION BASIN. HYDRAULES WILL BE INSTALLED AROUND CATCH BASINS ALONG MANSFIELD CITY ROAD AND RETENTION BASIN OUT TO CONTROL SEDIMENT FROM LEAVING SITE. HYDRAULES SHALL BE INSPECTED REGULARLY AND AFTER EVERY STORM EVENT TO MAINTAIN ITS EFFECTIVENESS.

5. THE BALANCE OF THE DRAINAGE PIPE SHALL BE INSTALLED IN AN UP GRADIENT DIRECTION THROUGH CO 1. SILT FENCE CHECK DAMS SHALL BE INSTALLED IN LOCATIONS SHOWN ON THE PLAN. CATCH BASINS SHALL BE COMPLETED SEQUENTIALLY WITH TOPS SET, HAY BALES INSTALLED TO PROTECT THE INLETS OF THE CATCH BASINS, AND SEDIMENT POOLS EXCAVATED ON THE UP GRADIENT SIDE AS SHOWN ON THE PLAN.

6. CONTRACTOR SHALL PROCEED WITH THE INSTALLATION OF COMMON DRAINAGE FOR LOTS 35, 36 & 37. SILT FENCING SHALL BE INSTALLED IMMEDIATELY DOWN GRADIENT OF PROPOSED GRADING. LARGE ROCKS AND STUMPS SHALL BE REMOVED. STABILIZATION FABRIC SHALL BE PLACED AND COVERED WITH BANK RUN GRAVEL. STORM DRAINAGE PIPING SHALL BE INSTALLED AS SHOWN ON THE PLAN. SILT FENCING SHALL BE INSPECTED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT TO MAINTAIN ITS EFFECTIVENESS.

7. UPON INSTALLATION OF THE CORDS COLOR, THE EMBARRASERS IMMEDIATELY ADJACENT TO THE INLET AND OUTLET SHALL BE GRADED TO FINAL GRADINGS, LOWEST SEEDS AND STABILIZED AS SPECIFIED UNDER "GENERAL NOTES." SILT FENCE ALONG THE TOE OF THE EMBARRASERS SHALL BE INSTALLED AND MAINTAINED.

8. WYLLYS FARM ROAD SHALL BE GRADED TO SUBBASE GRADINGS AND SUBBASE GRAVEL SHALL BE PLACED. CATCH BASINS SHALL BE COMPLETED SEQUENTIALLY WITH TOPS SET, HYDRAULES INSTALLED TO PROTECT THE INLETS OF THE CATCH BASIN, AND SEDIMENT POOLS EXCAVATED ON THE UP GRADIENT SIDE AS SHOWN ON THE PLAN.

9. UNDERGROUND UTILITIES SUCH AS ELECTRIC, TELEPHONE AND CABLE TV SHALL BE INSTALLED AND BACKFILLED.

10. UPON INSTALLATION OF UNDERGROUND UTILITIES, ROAD SHOULDERS BEYOND THE STREET PROPERTY LINE, IN BOTH CUT AND FILL AREAS SHALL BE REGRAD GRASSED AND STABILIZED. STABILIZATION SHALL CONSIST OF SEEDING THESE AREAS WITH A PERMANENT SEED MIXTURE. ROAD SHOULDERS SHALL BE MULCHED AS RECOMMENDED BELOW. HAY BALE CHECK DAMS SHALL BE REINSTALLED IN THE LOCATIONS SHOWN ON THE PLANS.

11. CONTRACTOR SHALL PROCEED TO INSTALL THE PROCESS AGGREGATE BASE. WHILE INSTALLING THE BASE, HYDRAULE PROTECTION SHALL BE REMOVED AND REPLACED SEQUENTIALLY AS THE PROCESS AGGREGATE BASE IS INSTALLED. BOTH COURSES OF BITUMINOUS PAVEMENT AND BITUMINOUS LP CURING SHALL BE INSTALLED.

12. UPON COMPLETION OF PAVING OF WYLLYS FARM ROAD TEMPORARY CONSTRUCTION ENTRANCE SHALL BE REMOVED, LOWM AND SEEDS.

13. SURVEYORS SHALL STAKE THE LOCATION OF THE PROPOSED WOODCHIP PATHS. BRUSH AND OVERHANGING LIMBS SHALL BE CUT THE LOCATION OF THE FOOT PATH. CLOSEST LOCATION AS NECESSARY TO AVOID CUTTING TREES OVER 3-INCH CALIPER.

14. MATERIAL FOR CONSTRUCTION OF THE FOOT PATH SHALL BE PLACED USING A SUBSTEER. DISTURBED AREAS ADJACENT TO THE FOOT PATH SHALL BE MULCHED WITH WOOD CHIPS.

III. GENERAL NOTES

A. SEED BED PREPARATION: FINE GRADE AND RAKE SOIL SURFACE TO REMOVE STONES LARGER THAN 2 INCH DIAMETER FROM LAWN AREAS. APPLY LIMESTONE AT A MINIMUM RATE OF 2 TONS PER ACRE OR 80 LBS. PER 1000 SQUARE FEET. FERTILIZE WITH 10-10-10 AT A RATE OF 300 LBS. PER ACRE OR 7.5 LBS. PER 1000 SQUARE FEET. WORK LINE AND FERTILIZER INTO SOIL UNIFORMLY TO A DEPTH OF 4 INCHES WITH A WIRE, SPRAYTOOTH HARROW OR OTHER SUITABLE EQUIPMENT FOLLOWING THE CONTOUR LINES.

B. SEED APPLICATION: APPLY GRASS SEED MIXTURE BY HAND, CYCLOPE SEEDER OR HYDROSEEDER. INCREASE SEED MIXTURE BY 10 PERCENT IN HYDROSEEDING. LIGHTLY GRADE OR TILL THE SEEDING SURFACE TO COVER SEED. SEED SHALL CONSIST OF A MIXTURE OF KENTUCKY BLUEGRASS (0.6 LBS/1000 SQ.FT.), CREEPING RED FESCUE (0.6 LBS/1000 SQ.FT.) AND PERENNIAL RYE GRASS (0.10 LBS/1000 SQ.FT.). SEEDING OF PERENNIAL GRASS SEED SHALL BE DONE BETWEEN APRIL 15 THROUGH JUNE 15 AND SEPTEMBER 1 THROUGH OCTOBER 15. AT THE EVENT SEEDING CANNOT BE COMPLETED DURING THE ABOVE DATES, A TEMPORARY GRASS SEED CONSISTING OF 1.0 LBS/1000 SQ.FT. OF ANNUAL RYE GRASS SHALL BE APPLIED. MOISTURE CONDITIONS SHALL BE SUPPLEMENTED FOR TEMPORARY SEEDING BETWEEN JUNE 15 AND AUGUST 31.

C. MULCHING: IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEEDING SURFACE WITH STRAW OR HAY AT A RATE OF 1.5 TO 2 TONS PER ACRE WHERE SLOPES EXCEED 10 PERCENT. SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH TRUCK MACHINE OR DISH HARROW SET STRAIGHT UP. MULCH MATERIAL SHOULD BE "SET" INTO SOIL SURFACE APPROXIMATELY 2-3 INCHES.

HOUSE SITE DEVELOPMENT:

THE FOLLOWING PROCEDURES SHALL APPLY TO THE INDIVIDUAL LOT BEING DEVELOPED.

1. THE LIMITS OF DISTURBANCE SHALL BE ESTABLISHED IN THE FIELD FOR EACH PROPOSED RESIDENTIAL STRUCTURE. MAXIMUM DISTURBANCE LIMITS OF 25-35 FEET BEYOND THE PHYSICAL DIMENSIONS OF THE STRUCTURE AND RELATED AFFURTENANCES IS RECOMMENDED.
2. TOPSOIL WITHIN THE LIMITS OF DISTURBANCE SHALL BE STRIPPED & STOCKPILED WITHIN THE AREA SHOWN. THE STOCKPILE SHALL BE ADEQUATELY RIMMED ON THE DOWN GRADIENT SIDE WITH SEDIMENT CONTROL MATERIALS (I.E., HAY BALES AND/OR FABRIC FENCE).
3. ANY STOCKPILING OF LUMBER AND BUILDING MATERIALS SHALL BE ALSO CONFINED TO THE AREA OF DISTURBANCE. SIMILARLY, VEHICULAR MOVEMENT SHALL BE DIRECTED TO ESTABLISHED PARKING AREAS. DEVELOPMENT OF SERVICE DISPOSAL LEACHING AREA SHALL BE SAVED TO FOLLOW HOUSE SITE PREPARATION. ONLY THE PRIMARY LEACHING SYSTEM NEED BE CLEARED OF EXISTING VEGETATION IN ACCORDANCE WITH THE APPROVED SEPTIC SYSTEM DESIGN. RESERVE AREA SHALL REMAIN UNDISTURBED IF SITE CONDITIONS PERMIT.
4. ONCE THE PROPOSED STRUCTURE IS ENCLOSED, ALL EFFORTS SHALL BE MADE TO COMPLETE ON-SITE IMPROVEMENTS SUCH AS WELLS, FOUNDATION DRAINS, SEPTIC SYSTEMS, DRIVEWAYS, ETC. THEREAFTER, ALL RAW SOIL AREAS SURROUNDING THE HOME SITE SHALL BE FINE GRADED AND STABILIZED IN ACCORDANCE WITH THE "GENERAL NOTES."

IV. PLAN IMPLEMENTATION

PRIOR TO THE START OF CONSTRUCTION THERE SHALL BE A PRE-CONSTRUCTION MEETING WITH THE TOWN ZONING AGENT, THE TOWN RELIANCE AGENT, THE SITE CONTRACTOR AND THE CONTRACTOR'S PROFESSIONAL SOIL EROSION AND SEDIMENT CONTROL SPECIALIST TO DISCUSS THE PLAN, INSPECTION PROCEDURES AND REPORT REQUIREMENTS.

A DAILY INSPECTION OF THE SITE SHALL BE PERFORMED TO ENSURE COMPLIANCE WITH THIS SEDIMENT & EROSION CONTROL PLAN AND A BIWEEKLY SEDIMENT & EROSION MONITORING REPORT SUBMITTED TO THE TOWN OF MANSFIELD ZONING AGENT AND INLAND WETLAND AGENT.

DURING CONSTRUCTION IT SHALL BE THE RESPONSIBILITY OF MICHAEL PLAN (TEL. NO. (860)456-1327) TO INSURE THE IMPLEMENTATION OF THIS SEDIMENT & EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE SITE OF THE OBJECTIVES OF THIS PLAN, NOTIFYING THE WETLAND AGENT OR HIS DESIGNEE OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF AND WHEN TITLE OF THE IS TRANSFERRED.

ANY MATERIAL REMOVED FROM SITE AND DEPOSITED IN MANSFIELD MUST BE IN FULL COMPLIANCE WITH APPLICABLE ZONING AND INLAND WETLAND REQUIREMENTS.

EDWARD PELLETIER, L.S. #14203
ANTICIPATED START DATE: APRIL, 2013. COMPLETION DATE: DEC. 15, 2013.

PROFESSIONAL ENGINEER AS LICENSED BY THE STATE OF CONNECTICUT
DEPARTMENT OF CONSUMER PROTECTION.

GERALD HARDISTY, P.E. #15974

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN DATE

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

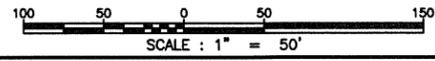
CHAIRMAN DATE

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR DATE

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR DATE



E & S CONTROL PLAN FOR SUBDIVISION BEACON HILL

SECTION II
WYLLYS FARM ROAD
MANSFIELD, CONNECTICUT

SUBDIVIDER
EAGLEVILLE DEVELOPMENT GROUP, LLC
100 WELLS STREET, SUITE 110
HARTFORD, CONNECTICUT 06103

OWNER
GLADYS MARSHALL
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BARNEGAT, NJ 08005

SCALE: 1" = 40' DATE: JULY 15, 2012

SHEET 13 OF 13

DATUM ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1367 FAX (860)456-1840

JOB NO.: 211053
CREATED BY: _____ CORRECTIONS BY: _____