

MEETING NOTICE AND AGENDA

MANSFIELD PLANNING AND ZONING COMMISSION

Tuesday, February 16, 2016 ■ 6:30 PM

Audrey P. Beck Municipal Building ■ 4 South Eagleville Road ■ Council Chamber

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Minutes**
 - a. February 1, 2016 – Regular Meeting
- 4. Zoning Agent’s Report**
- 5. Old Business**
 - a. **Draft Zoning Regulations**
Memo from Director of Planning and Development
 - b. **Modification Request to a Gravel Permit, 1090 Stafford Road, PZC File #1258**
Tabled until 3/21/16
 - c. **Other**
- 6. New Business**
 - a. **Zoning Map Amendment Application, 91 & 93 Meadowbrook Lane, PZC File #1338**
 - b. **Special Permit Application, Meadowbrook Gardens, 91 & 93 Meadowbrook Lane, PZC File #1284-3**
 - c. **UConn South Campus Development EIE**
Memo from Director of Planning and Development
 - d. **UConn Student Recreation Center Scoping**
Memo from Director of Planning and Development
 - e. **Other**
- 7. Reports from Officers and Committees**
 - a. Chairman’s Report
 - b. Regional Planning Commission
 - c. Regulatory Review Committee
 - d. Planning and Development Director’s Report
 - e. Other
- 8. Communications and Bills**
 - a. Referral from Coventry Planning and Zoning Commission
 - b. Letter to FRA on NEC Future Project
 - c. CFPZA Newsletter
 - d. CFPZA Annual Conference
 - e. Other
- 9. Adjournment**

DRAFT MINUTES
MANSFIELD PLANNING AND ZONING COMMISSION
Regular Meeting
Monday, February 1, 2016
Council Chamber, Audrey P. Beck Municipal Building

Members present: J. Goodwin, C. Ausburger, R. Hall, G. Lewis, K. Rawn, B. Ryan,
V. Ward, S. Westa
Members absent: B. Chandy
Alternates present: P. Aho, T. Berthelot, K. Holt
Staff present: Linda Painter, Director of Planning and Development
Janell Mullen, Assistant Planner/Zoning Enforcement Officer

Chairman Goodwin called the meeting to order at 7:36 p.m. and appointed alternate Aho to act in Chandy's absence.

Approval of Minutes:

- a. January 19, 2016, Regular Meeting: Hall MOVED, Ryan seconded, to approve the 1-19-2016 minutes as corrected. MOTION PASSED UNANIMOUSLY.

Zoning Agent's Report:

None.

Old Business:

a. Draft Zoning Regulations

- Alcoholic Liquor Permits. After discussion, the consensus of the majority of members was to delete the separation distance requirement from the regulations and to incorporate the sale of alcoholic liquors as part of the general special permit requirements for new businesses, i.e., to inform as part of the application the plan for the sale of alcoholic liquors as an applicant would report hours of operation, parking spaces and the like. The Commission eliminates specific requirements as a redundancy to the Liquor Control permit process.
- Live Music. After discussion, the consensus of the majority of members was to delete those regulations which require a special permit for the use of live music and to treat live music as stated above with regard to the sale of alcoholic liquor; again noting the redundancy with noise and nuisance ordinances.
- Architectural Design and Sustainability Standards. Commission members requested that staff review and revise design standards so as to encourage architectural diversity and revise sustainability standards so as to prioritize energy efficiency and water conservation; establish different thresholds/requirements for small projects; and consider a system that does not involve points.

b. Modification Request to a Gravel Permit, 1090 Stafford Road, PZC File #1258

Item tabled until March 21, 2015. A March field trip has been scheduled for this site.

New Business: None.

Reports from Officers and Committees:

Westa reported on the CCROG meeting last week that discussed overlay zones and a Regional bus study, including a related survey.

The Director reviewed her written report.

Communications and Bills:

Noted.

Adjournment:

The Chair declared the meeting adjourned at 8:55 p.m.

Respectfully submitted,

Vera S. Ward, Secretary

ZONING AGENT MONTHLY REPORT ■

JANUARY 2016

JANELL MULLEN, ZONING AGENT

ZONING PERMITS ISSUED

ADDRESS	DESCRIPTION
1498 Storrs Road	Covered patio
1232 Storrs Road	Replacement of handicap ramp
563 Storrs Road	Lot line modification
9 Patriot Square (Freedom Green)	Handicap ramp at private residence
895 Mansfield City Road	Subdivide property, new lot line

CERTIFICATES OF ZONING COMPLIANCE

ADDRESS	DESCRIPTION
79 Jonathan Lane	12' X 16' shed
242 Spring Hill Road	Barn addition
44 Mountain Road	8'X10' shed
Natchaug Hospital	5' X 20' Addition
118 Davis Road	10' X 12' shed
533 Stafford Road	Construction of two additional storage buildings

ENFORCEMENT ACTIVITY

ADDRESS	DESCRIPTION OF COMPLAINT/VIOLATION
1008 Storrs Road	Over-occupancy, Notice of Violation issued 1/21/2016. Citation issued on 1/22/2016.
229 Browns Road	Over-occupancy, Citation issued on 12/14/2016. Citation paid on 1/20/2016. Will continue to monitor.
15 Agronomy Road	Repeat violations. Citation issued on 1/29/2016. Received a letter requesting an appeal.
55 Echo Road	Over-occupancy, Citations issued and paid. Janell to confirm continual compliance. No complaints this semester.
1925 Storrs Road	Junkyard, weekly site visits and progress meetings with the owner. Removing vehicles from the property are the first priority. A site wide clean-up will be schedule for the site with the assistance of T&B Motors.
143 Separatist Road	Over-Occupancy. Notice of Violation issued on 12/16/2016. Owner's response was not substantive. Continued monitoring to occur.
441 N. Eagleville Road	Over-Occupancy, Notice of Violation issued on 1/27/2016. If no response by February 11 th , Citation to follow.

42 Mount Hope Road	Over-Occupancy, Notice of Violation issued on 1/27/2016. Owner inquired about the timeframe for complying and could potentially appeal. Deadline for property owner Feb 11 th .
107 Hillyndale Road	Over-Occupancy, failed inspections. Notice of Violation issued on 2/8/2015. Owner has until 2/22/2016 to respond.
205 Hunting Lodge Road	Over-Occupancy, failed inspections. Notice of Violation issued on 2/8/2015. Owner has until 2/22/2016 to respond.
67 Hillyndale Road	Over-Occupancy, failed inspections. Notice of Violation issued on 2/8/2015. Owner has until 2/22/2016 to respond.
406 S. Eagleville Road	Over-Occupancy, failed inspections. Notice of Violation issued on 2/8/2015. Owner has until 2/22/2016 to respond.
113-121 S. Eagleville	Blight near wetlands. Debris includes building materials. Clean-up coordinated by Rebecca Fields of Mansfield Housing Authority this week.
109 Hunting Lodge Road	Over-Occupancy, failed inspections. Notice of Violation issued on 2/9/2016. Owner has until 2/23 to respond.

In January, the Housing Department performed 48 inspections on 29 rental properties resulting in 6 properties referred to the Zoning Agent for enforcement.



Town of Mansfield

Department of Planning and Development

Date: February 11, 2016
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director of Planning and Development
Subject: Draft Zoning Regulations-Sale of Alcoholic Liquor, Live Music and Sustainability Requirements

At the February 1, 2016 meeting, the Commission discussed the proposed changes to regulations and identified additional changes as described below.

Alcoholic Beverage Sales

- Treat alcoholic beverage sales as an accessory use, not a principal use.
- Eliminate the specific list of allowable permits and deferring to Town ordinance.
- Eliminate separation distances between sale/manufacture of alcoholic beverages and certain uses.
- Clarify when Temporary Special Outing Permits are required as well as the review process.

Live Music

- Eliminate the Special Permit Requirement

Sustainability Requirements

The Commission also discussed the proposed minimum sustainability requirements and had several questions regarding the proposed point system, thresholds, priorities and requirements. The Sustainability Committee also discussed the proposed standards at their last meeting and identified concerns regarding implementation, applicability, whether the standards should be mandatory or incentive-based, and need to address project siting. Given the extensiveness of their comments on the draft sustainability requirements, the Committee requested additional time to complete their review and submit comments to the Commission.

Based on the comments received from the Commission and the Sustainability Committee, staff recommends that the draft sustainability requirements be sent back to the Regulatory Review Committee for reworking.

Summary

Revised drafts of the alcoholic beverages and live music regulations are attached for your review based on the suggested changes.

DRAFT ALCOHOLIC LIQUOR AND LIVE MUSIC REGULATIONS

MANSFIELD DEPARTMENT OF PLANNING AND DEVELOPMENT ■ FEBRUARY 10, 2016

OVERVIEW

ALCOHOLIC LIQUOR REGULATIONS

The proposed changes:

- Change alcoholic liquor permits from a principal to an accessory use for all liquor permits other than temporary permits.
- Eliminate requirement for site plan approval for temporary liquor permits provided certain conditions are met. (A list of temporary liquor permits pursuant to state statutes is attached to the end of this document.)
- Eliminate separation distance requirements between sales/manufacture of alcohol and certain uses.
- Eliminate references to specific state liquor permit types, thereby deferring to permits allowed by Code of Ordinances
- Allow brew pubs and brewpub/restaurants (alcohol manufacturing) by special permit in the PB-1, PB-2, PB-3, PB-4 zones, and by-right in the SC-SDD zone provided sewer and water infrastructure is available.*
- Allow breweries (alcohol manufacturing) by special permit in the PB-1 and PB-3 zones provided sewer and water infrastructure is available.*
- Allow farm wineries (manufacture of alcohol) in the RAR-90, PVRA and PVCA zones.*

*These uses would not be authorized unless/until the Code of Ordinances was changed to allow for these types of alcohol permits.

LIVE MUSIC REGULATIONS

The proposed changes:

- Change live music permits from a principal to an accessory use for indoor live music.
- Require special permit approval for outdoor live music with the exception of the following:
 - Events on public property; and
 - Events in the Storrs Center Special Design District (SC-SDD) since live music is already permitted in this district with no restriction other than compliance with the noise ordinance

AMENDMENTS TO ARTICLE FOUR: RULES AND DEFINITIONS

AMEND SECTION B – DEFINITIONS

Add the following definitions (alphabetic order) and renumber subsequent definitions accordingly.

6. Brewpub/restaurant – A restaurant where beer is manufactured, stored, bottled and sold to be consumed on premises. A limited amount of beer may be sold at retail in sealed containers for consumption off premises as accessory to the restaurant use.
7. Brewpub – A facility where beer can be manufactured, stored, bottled, sold at wholesale or at retail in sealed bottles or other sealed containers for consumption off premises, or sold to be consumed on premises in a room that is ancillary to the production of beer, with or without the sale of food.
8. Brewery – A facility where beer can be manufactured, stored, bottled and sold at wholesale or at retail in sealed containers for consumption off premises or offered for on-site tasting.

AMENDMENTS TO ARTICLE SEVEN: PERMITTED USES

AMEND SECTION D – USES PERMITTED IN ALL ZONES EXCEPT IN THE FLOOD HAZARD ZONE

Amend Section D.7, Accessory Buildings and Uses to add new subsections (g) and (h) as follows:

7. **Accessory buildings and uses** (see definition in Article IV), provided the following conditions are met:

* * * * *

g. The sale of alcoholic liquor shall be permitted as accessory to the following uses provided the liquor permit type is authorized pursuant to Chapter 101 of the Mansfield Code of Ordinances:

- Retail
- Restaurant
- Hotel
- Place of Assembly-Banquet Hall
- Commercial recreation facility
- Adult-oriented establishment
- Brewpub/Restaurant, Brewpub, and Brewery
- Farm Winery

h. Live music provided the music originates and is contained within the structure* unless the property is owned by a public agency; is located within the SC-SDD or has received Special Permit approval for outdoor events involving live music.

*Music shall not be conveyed outside the structure by any means, including but not limited to exterior loudspeakers, open windows, open doors except entrance doors when opened as needed for ingress/egress, or any other means.

* * * * *

Amend Section D.15, Temporary Special Events involving the sale and consumption of alcoholic liquor as follows:

15. Temporary special events involving the sale and consumption of alcoholic liquor pursuant to Sec. 30-25, 30-35, 30-37b and 30-37h, C.G.S., provided site plan approval is obtained in accordance with Article V, Section A and the following requirements of Article X, Section 1.5 are met:

- a. Site Plan approval pursuant to Article V, Section A shall be obtained for proposed events in Residential Zones unless the property meets one of the following criteria:
 - 1. The property is owned or leased by a public agency, charitable organization, or non-profit organization; or
 - 2. The property has received prior zoning approval for a public assembly use.
- b. Proposed plans for parking, traffic control, crowd control, hours or operation and protection of minors are submitted with the Temporary Liquor Permit Application and approved by the Mansfield Police Department;
- c. Proposed plans for providing sanitary facilities for the subject event are submitted with the Temporary Liquor Permit application and found to be sufficient by the Zoning Agent in consultation with the local health district.

AMEND SECTION G – USES PERMITTED IN THE RAR-90 ZONE

Amend Section G to add new section G.15 as follows:

15. Farm Wineries provided special permit approval is obtained in accordance with Article V, Section B.

AMEND SECTION K – USES PERMITTED IN THE PVRA (PLEASANT VALLEY RESIDENCE/AGRICULTURE) ZONE (LAND SOUTH OF PLEASANT VALLEY ROAD AND WEST OF MANSFIELD CITY ROAD)

Amend Section 3 to add new Section 3.g as follows:

3. Categories of Permitted Uses in the Pleasant Valley Residence/Agriculture Zone Requiring Special Permit Approval as per the Provisions of Article V, Section B and Applicable Provisions of Article X, Section A:

* * * * *

g. Farm Wineries

* * * * *

AMEND SECTION L – USES PERMITTED IN THE PLANNED BUSINESS I ZONE (ROUTE 195/ROUTE 6 AREA)

Amend Section L as follows:

2. Categories of permitted uses in the Planned Business 1 zone requiring special permit approval as per the provisions of Article V, Section B:

a. Category A

1. Retail uses that comply with the following criteria:

- the use results in a maximum of four separate stores, shops or businesses on the subject lot; and
- the use involves a maximum of two distinct or independent retail operations per store, shop or outdoor area
- ~~any retail store selling alcoholic liquors shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I~~

* * * * *

e. Category E

1. Retail uses that comply with the following criteria:

- The use results in five or more separate stores or shops or businesses on the subject lot; or
- The use involves more than two distinct or independent retail operations per store, shop or outdoor area. (For example: a marketing operation where more than two independent merchants utilize a particular area)
- ~~any retail store selling alcoholic liquors shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I~~

* * * * *

f. Category F

Commercial recreation facilities such as theaters, racquetball, tennis and physical fitness centers; and bowling alleys. All changes in use within this subsection require special permit approval. ~~Any commercial recreation facility selling alcoholic liquor shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I.~~

g. Category G

Game arcades as a primary (more than 3 games) and not accessory use, provided the following conditions are met:

1. ~~there is no sale or consumption of alcoholic beverages on the arcade premises;~~

Renumber subsequent provisions accordingly

* * * * *

h. Category H

Reserved.

~~The use of live music associated with any hotel, motel, commercial recreation facility or restaurant, provided no outside speakers shall be used in conjunction with the use of such music and provided no music associated with the use is objectionable at the site's property lines. Any special permit issued pursuant to this subsection shall expire on November 1 of each year and, upon application and Public Hearing, may be renewed. As an exception to this requirement for Special Permit approval, limited live music uses may be authorized with Zoning Permit approval provided the following standards are met:~~

1. ~~The subject live music shall be limited to singing or the playing of musical instruments that, in the opinion of the Zoning Agent, are accessory to an authorized use (such as background music to enhance a dining experience) and not a primary use, (such as a separate concert event).~~

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- ~~2. The subject live music shall be unamplified or amplified at volume levels that, in the opinion of the Zoning Agent, would have low potential for causing noise issues for neighboring property owners. If neighborhood noise problems occur, the subject live music authorization may be altered or revoked.~~
- ~~3. No live music use authorized under this Zoning Permit provision shall take place after 10 pm on weekdays and 11pm on weekends.~~
- ~~4. Zoning Permits issued for live music under this provision shall be valid for an initial period ending on November 1 of an even numbered year and may, upon application of the holder of such permit, be renewed for additional periods of two (2) years each provided the requirement of this section are continually met. Such permit shall not be transferable.~~

~~Any questions regarding the appropriate permit process for authorizing live music uses, shall be resolved by the Planning and Zoning Commission.~~

i. Category I

~~The sale of alcoholic liquor subject to the provisions of Article X, Section I Brewpub/restaurant, Brewpub and Brewery uses provided the site is served by public water and sanitary sewer systems.~~

* * * * *

k. Category K

1. Restaurants, provided the following conditions are met:

- a. all structures and parking areas are a minimum of 100 feet from residential zone boundaries or 100 feet from the property lines of an existing residence on an adjacent lot. This setback requirement may be reduced if the applicant can demonstrate to the satisfaction of the PZC that the subject uses will be effectively buffered from adjacent properties by existing or proposed vegetation, topographic features, walls, fences or other measures.
- b. There shall be no drive-through food service.
- ~~c. Any restaurant selling alcoholic liquor shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I.~~

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m. Category M

~~Hotels, motels, tourist homes. Any associated restaurant selling alcoholic liquors shall comply with the provisions of Article VII, Section L.2.i and Article X, Section I.~~

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AMEND SECTION M-USSES PERMITTED IN THE PLANNED BUSINESS 2 ZONE (ROUTE 195/DOG LANE AREA)

Amend Section M.2 as follows:

2. Categories of permitted uses in the Planned Business 2 zone requiring special permit approval as per the provisions of Article V, Section B:

* * * * *

f. Category F

Commercial recreation facilities such as theaters, racquetball, tennis and physical fitness centers, and bowling alleys. All changes in use within this subsection require special permit approval. ~~Any commercial recreation facility selling alcoholic liquor shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I.~~

* * * * *

j. Category J

Hotels, motels, tourist homes. ~~Any associated restaurant selling alcoholic liquors shall comply with the provisions of Article VII, Section L.2.1 and Article X, Section I.~~

* * * * *

k. Category K

Reserved.

~~The use of live music associated with any restaurant or commercial recreation facility subject to the standards and requirements cited in Article VII, Section L.2.h~~

l. Category L

~~The sale of alcoholic liquor subject to the provisions of Article X, Section I~~
Brewpub/restaurant and Brewpub uses provided the site is served by public water and sanitary sewer systems.

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AMEND SECTION N – USES PERMITTED IN THE PLANNED BUSINESS 3 ZONE (ROUTE 195/ROUTE 44 FOUR CORNERS AREA)

Amend Section N as follows:

3. Categories of permitted uses in the Planned Business 3 zone requiring special permit approval as per the provisions of Article V, Section B:

* * * * *

f. Category F

Commercial recreation facilities such as theaters, racquetball, tennis and physical fitness centers; and bowling alleys. All changes in use within this subsection require special permit approval. ~~Any commercial~~

~~recreation facility selling alcoholic liquor shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I.~~

* * * * *

i. **Category I**

Reserved.

~~The use of live music associated with any hotel, motel, restaurant or commercial recreation facility subject to the standards and requirements cited in Article VII, Section L.2.h~~

j. **Category J**

The sale of alcoholic liquor subject to the provisions of Article X, Section I Brewpub/restaurant, Brewpub and Brewery uses provided the site is served by public water and sanitary sewer systems.

k. **Category K**

1. Restaurants, provided the following conditions are met:

- a. the site is served by adequate public water and sewer systems;
- b. all structures and parking areas are a minimum of 100 feet from residential zone boundaries or 100 feet from the property lines of an existing residence on an adjacent lot. This setback requirement may be reduced if the applicant can demonstrate to the satisfaction of the PZC that the subject uses will be effectively buffered from adjacent properties by existing or proposed vegetation, topographic features, walls, fences or other measures.
- c. There shall be no drive-through food service.
- ~~d. Any restaurant selling alcoholic liquor shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I.~~

l. **Category L**

Hotels, motels, tourist homes. ~~Any associated restaurant selling alcoholic liquors shall comply with the provisions of Article VII, Section L.2.1 and Article X, Section I.~~

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AMEND SECTION O – USES PERMITTED IN THE PLANNED BUSINESS 4 ZONE (NORTH EAGLEVILLE RD./KING HILL RD. AREA)

Amend Section O.2 as follows:

2. **Categories of Permitted Uses in the Planned Business 4 Zone Requiring Special Permit Approval as per the Provisions of Article V, Section B:**

* * * * *

I. Category L

Reserved.

~~The use of live music associated with any restaurant or commercial recreation facility subject to the standards and requirements cited in Article VII, Section L.2.h;~~

m. Category M

~~The sale of alcoholic liquor subject to the provisions of Article X, Section I;
Brewpub/restaurant and Brewpub uses provided the site is served by public water and sanitary sewer systems.~~

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AMEND SECTION P – USES PERMITTED IN THE PLANNED BUSINESS 5 ZONE (ROUTE 32/ROUTE 31 AREA)

Amend Section P.2 as follows:

2. Categories of Permitted Uses in the Planned Business 5 Zone Requiring Special Permit approval as per the Provisions of Article V, Section B:

* * * * *

f. Category F

Commercial recreation facilities such as theaters, racquetball, tennis and physical fitness centers; and bowling alleys. All changes in use within this subsection require special permit approval. ~~Any commercial recreation facility selling alcoholic liquor shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I.~~

* * * * *

h. Category H

Reserved.

~~The use of live music associated with any commercial recreation facility or restaurant, provided no outside speakers shall be used in conjunction with the use of such music and provided no noise associated with the use is objectionable at the site's property lines. Any special permit issued pursuant to this subsection shall expire on November 1 of each year and, upon application and Public Hearing, may be renewed.~~

i. Category I

~~The sale of alcoholic liquor subject to the provisions of Article X, Section~~

* * * * *

m. Category M

Reserved.

~~The use of live music associated with any restaurant or commercial recreation facility subject to the standards and requirements cited in Article VII, Section L.2.h;~~

n. Category N

Reserved.

~~The sale of alcoholic liquor subject to the provisions of Article X, Section I;~~

* * * * *

AMEND SECTION Q – USES PERMITTED IN THE BUSINESS ZONE

Amend Section Q.3.c as follows:

c. Category C

Game arcades as a primary (more than 3 games) and not accessory use, provided the following conditions are met:

~~1. There is no sale or consumption of alcoholic beverages on the arcade premises;~~

Renumber subsequent provisions accordingly

* * * * *

h. Category H

Reserved.

~~The use of live music within the building confines of any hotel, motel, and restaurant, provided no outside speakers shall be used in conjunction with the use of such music and provided no music associated with the use is objectionable at the site's property lines. Any special permit issued pursuant to this subsection, shall expire on November 1, of each year and, upon application and Public Hearing, may be renewed.~~

* * * * *

AMEND SECTION R – USES PERMITTED IN THE NEIGHBORHOOD BUSINESS 1 ZONES (ROUTE 44/MANSFIELD DEPOT AREA; ROUTE 195/32 AREA; ROUTE 195/SPRING HILL RD AREA; ROUTE 32/EAGLEVILLE AREA)

Amend Section R.2 as follows:

2. Categories of Permitted Uses in the Neighborhood Business 1 Zones requiring special permit approval as per the provisions of Article V, Section B:

* * * * *

a. Category A

1. Retail stores that comply with the following criteria:

a. There is a maximum of four separate stores, shops or businesses on the subject lot;

- b. There is a maximum of two distinct or independent retail operations per store, shop or outdoor area;
- ~~c. Any retail use selling alcoholic liquors shall comply with the provisions of Article VII, Section Q.2.g and Article X, Section I;~~

* * * * *

g. Category G

Reserved.

~~The sale of alcoholic liquor, subject to the provisions of Article X, Section I~~

h. Category H

Restaurants, provided the following conditions are met:

- 1. All structures and parking areas are a minimum of 100 feet from residential zone boundaries or 100 feet from the property lines of an existing residence on an adjacent lot. This setback requirement may be reduced if the applicant can demonstrate to the satisfaction of the PZC that the subject uses will be effectively buffered from adjacent properties by existing or proposed vegetation, topographic features, walls, fences or other measures.
- 2. There shall be no drive-through food service.
- ~~3. Any restaurant selling alcoholic liquor shall comply with the provisions of Article VII, Section Q.2.g and Article X, Section I.~~

~~i. Category I~~

~~The use of live music within the building confines of any restaurant, provided no outside speakers shall be used in conjunction with the use of such music and provided no noise associated with the use is objectionable at the site's property lines. Any special permit issued pursuant to this subsection shall expire on November 1 of each year and may be renewed upon application and Public Hearing.~~

* * * * *

AMEND SECTION S – USES PERMITTED IN THE NEIGHBORHOOD BUSINESS 2 ZONE (ROUTE 195/MANSFIELD CENTER AREA)

Amend Section S.2 as follows:

- 2. Categories of Permitted Uses in the Neighborhood Business 2 zones requiring special permit approval as per the provisions of Article V, Section B:

* * * * *

g. Category G

Reserved.

~~The sale of alcoholic liquor subject to the provisions of Article X, Section I~~

AMEND SECTION U – USES PERMITTED IN THE PVCA (PLEASANT VALLEY COMMERCIAL/AGRICULTURE) ZONE (LAND SOUTH OF PLEASANT VALLEY ROAD AND EAST OF MANSFIELD AVENUE)

Amend Section 3 to add new Section 3.m as follows:

3. Categories of Permitted Uses in the Pleasant Valley Commercial/Agriculture Zone Requiring Special Permit Approval as per the Provisions of Article V, Section B and Applicable Provisions of Article X, Section A:

* * * * *

m. Farm Wineries

* * * * *

AMEND SECTION V – USES PERMITTED IN THE RD/LI (RESEARCH AND DEVELOPMENT/LIMITED INDUSTRIAL) ZONE (ROUTE 44/NORTH EAGLEVILLE RD AREA)

Amend Section V.3 as follows:

3. Permitted Uses in the RD/LI Zone requiring Special Permit Approval as per the Provisions of Article V, Section B

* * * * *

~~i. The use of live music within the building confines of any hotel or restaurant provided no outside speakers shall be used in conjunction with the use of such music and provided no music associated with the use is objectionable at the site's property lines. Any special permit issued pursuant to this subsection shall expire on November 1, of each year and, upon application and Public Hearing, may be renewed.~~

~~j. The sale of alcoholic liquor associated with a permitted restaurant, hotel, or commercial recreation facility subject to the provisions of Article X, Section I;~~

* * * * *

AMENDMENTS TO ARTICLE TEN

DELETE SECTION I – SALE OF ALCOHOLIC LIQUOR

Delete Section I in its entirety and replace with “RESERVED”

AMEND SECTION 5.4 – USES PERMITTED IN THE STORRS CENTER SPECIAL DESIGN DISTRICT

Amend Section 5.4.a to add the following use:

(xxvii) Brewpub and Brewpub/restaurant as defined in Article IV

* * * * *

AMENDMENTS TO ARTICLE ELEVEN

AMEND SECTION C-ZONING PERMITS

Amend Section C.1.a as follows:

- a. The following provisions for Zoning Permits are in addition to any application requirements associated with uses and/or construction activities that also require the review and approval of the Planning and Zoning Commission. All proposed uses and/or construction activities shall comply with permitted use provisions and all other applicable regulatory provisions. Except as noted below in subsection b, Zoning Permits shall be required for the following construction activities:

* * * * *

6. ~~Limited Live Music Uses pursuant to Article VII, Section L.2.h.~~ Reserved.

* * * * *

TEMPORARY LIQUOR PERMIT TYPES

PURSUANT TO DEPARTMENT OF LIQUOR CONTROL TEMPORARY LIQUOR PERMIT APPLICATION
▪ EXCERPTS FROM STATE STATUTES

Sec. 30-25. Special club permit for picnics. (a) A special club permit shall allow the sale of alcoholic liquor by the drink at retail to be consumed at the grounds of an outdoor picnic conducted by a club or golf country club. Such permits shall be issued only to holders of club or golf country club permits and shall be issued on a daily basis subject to the hours of sale in section 30-91, and shall be the same as provided therein for clubs and golf country clubs. The exception that applies to railroad and boat permits in section 30-48 shall apply to such a special club permit. No such club or golf country club shall be granted more than four such special club permits during any one calendar year.

(b) The Department of Consumer Protection shall have full discretion in the issuance of such special club permits as to suitability of place and may make any regulations with respect thereto.

(c) The fee for such a special club permit shall be fifty dollars per day.

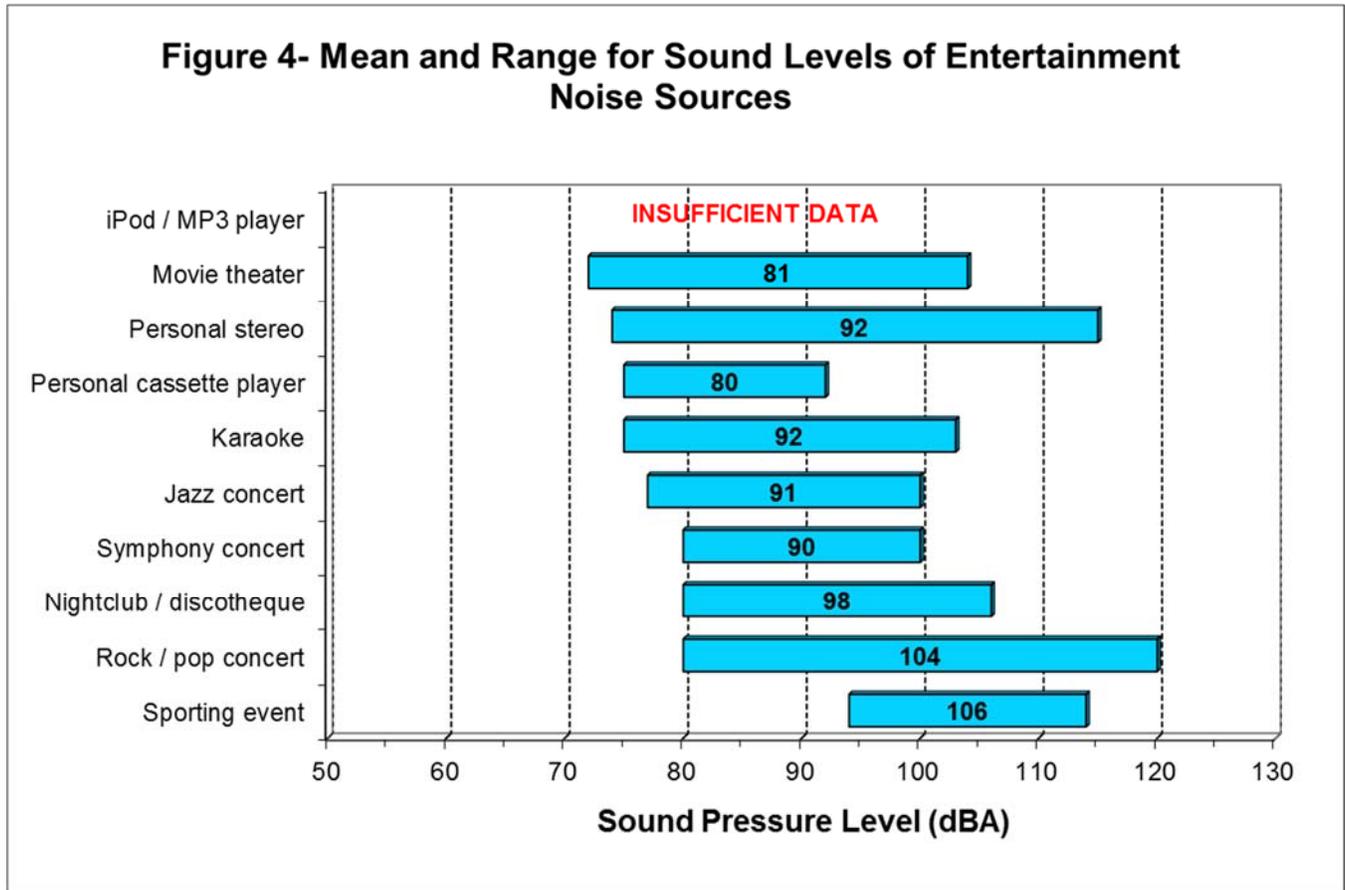
Sec. 30-35. Temporary permit for outings, picnics or social gatherings. A temporary beer permit shall allow the sale of beer and a temporary liquor permit shall allow the sale of alcoholic liquor at any outing, picnic or social gathering conducted by a bona fide noncommercial organization, which organization shall be the backer of the permittee under such permit. The profits from the sale of such beer or alcoholic liquor shall be retained by the organization conducting such outing, picnic or social gathering and no portion of such profits shall be paid, directly or indirectly, to any individual or other corporation. Such permit shall be issued subject to the approval of the Department of Consumer Protection and shall be effective only for specified dates and times limited by the department. The combined total of outings, picnics or social gatherings, for which a temporary beer permit or temporary liquor permit is issued pursuant to this section, shall not exceed twelve in any calendar year and the approved dates and times for each such outing, picnic or social gathering shall be displayed on such permit. The fee for a temporary beer permit shall be thirty dollars per day and for a temporary liquor permit shall be fifty dollars per day.

Sec. 30-37b. Charitable organization permit. A charitable organization permit shall allow the retail sale of alcoholic liquor by the drink to be consumed on the premises owned or leased by the organization. Such permit shall be issued subject to the hours of sale in section 30-91 and the combined total of days for which such permit shall be issued shall not exceed twelve days in any calendar year. The dates for which such permit is issued shall be displayed on such permit. The fee for a charitable organization permit shall be fifty dollars.

Sec. 30-37h. Nonprofit corporation permit. A nonprofit corporation permit shall allow the retail sale of wine at auction, provided the auction is held as part of a fund-raising event to benefit the tax-exempt activities of the nonprofit corporation. Each permit shall allow the sale of wine at a maximum of twelve such auctions in any calendar year, except as provided in section 30-37d. The fee for a nonprofit corporation permit shall be twenty-five dollars.

SOUND LEVELS

SOURCE: NOISE NAVIGATOR™ SOUND LEVEL DATABASE; ELLIOT H. BERGER, RICK NEITZEL¹ AND CYNTHIA A. KLADDEN; 3M PERSONAL SAFETY DIVISION E•A•RCAL LABORATORY; JUNE 12, 2013;



¹ UNIV. OF MICHIGAN, DEPT. OF ENVIRONMENTAL HEALTH SCIENCE, ANN ARBOR, MI

NOISE TYPE	DECIBELS	DISTANCE FROM SOURCE
AMBIENT NOISE		
WILDERNESS	35	
RURAL	45	
SUBURBAN	60	
URBAN	70	
GENERAL NOISE		
TALKING	75	
LIBRARY	38-40	
MUSICAL INSTRUMENTS		
GUITAR	52	15.2 METERS
HARMONICA	72	15.2 METERS
PIANO	85	
RADIOS/STEREOS		
RADIO	80	
RADIO-BLARING	110	
RADIO-IN BACKGROUND	45-50	
STEREO - PLAYING MUSIC	80	
STEREO-HOME	90-105	
STEREO-PERSONAL	95-115	
KARAOKE		
ONE SINGER	98	
TWO SINGERS	103	
RESTAURANTS		
RESTAURANT	83-86	
RESTAURANT BAR, 1/3 FULL	65	
RESTAURANT-AVERAGE	60	
RESTAURANT-CROWDED	80	
RESTAURANT-ELEGANT BISTRO	50	
RESTAURANT-FAMILY STYLE	71	
RESTAURANT-NOISY	70	
RESTAURANT-SMALL ½ FULL	65	
RESTAURANT-SMALL-FULL	68	

RECEIPT OF APPLICATION FOR AMENDMENT TO THE ZONING MAP:

_____, MOVE and _____ seconds, to receive the application
submitted by **Uniglobe Investment, LLC (PZC File #1338)**

**to amend the Zoning Map to change the property located at 91 & 93 Meadowbrook Lane from
RAR-20 to DMR**

on property owned by **the applicant**,

as shown on plans dated **1/8/16** and as submitted to the Commission, to refer said application to the staff
for review and comment and to set a Public Hearing for **May 2, 2016**.

APPLICATION TO AMEND THE ZONING MAP
(see Article XIII of the Zoning Regulations)

PZC File # 1338
Date 2-9-16

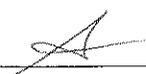
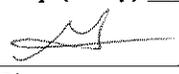
1. The undersigned applicant hereby petitions the Mansfield Planning and Zoning Commission to change the zone classification of the hereinafter-described property

from R20 to DMR

2. Address/location of subject property 91 & 93 Meadowbrook Lane

Assessor's Map 38 Block 101 Lot(s) 4 & 5

3. Acreage of subject property 4.6, acreage of adjacent land in same ownership (if any) 9.1

4. APPLICANT Uniglobe Investment LLC  
(please PRINT) Signature

Street Address 73 Meadowbrook Lane Telephone 203-260-5325 - Scott Garrett
Town Mansfield Center, CT Zip Code 06250

Interest in property: Owner Optionee _____ Lessee _____ Other _____

(If "Other", please explain) _____

5. OWNER OF RECORD: same as applicant _____
(please PRINT) Signature

Street Address _____ Telephone _____
Town _____ Zip Code _____

Signature _____

OR attached purchase contract _____ OR attached letter consenting to this application _____

6. AGENTS (if any) who may be directly contacted regarding this application:

Name Robert Magi Telephone 203-692-5222
Address 73 Meadowbrook Lane, Mansfield Center, CT Zip Code 06250
Involvement (legal, engineering, surveying, etc.) Project Manager

Datum Engineering & Surveying, LLC
Name Edward Pelletier Telephone 860-456-1357
Address 132 Conantville Road, Mansfield Center, CT Zip Code 06250
Involvement (legal, engineering, surveying, etc.) Surveyor

7. The following items must be submitted as part of this application:

application fee

map of subject property (5 copies) prepared by surveyor as per requirements of Article XIII, Section B.4. Map shall include areas within 500 feet of proposed rezoning, existing and proposed zone boundaries, existing streets, rights-of-way, easements, watercourses, wetlands, flood hazard areas, property lines and names and addresses of neighboring property-owners, including those across any street

(over)

8. Items to be submitted as part of this application (continued):

X legally-defined boundary description of areas to be rezoned - copy of deed attached

X Statement of Justification addressing approval considerations of Article XIII, Section C, and substantiating the proposal's compatibility with the Mansfield Plan of Development; the reasons for the proposed rezoning (including any circumstances or changed conditions that would justify the revision), and the effect the zone change would have on the health, safety, welfare and property values of neighboring properties and other Mansfield residents

X reports and other information supporting the proposed rezoning (see Article XIII, Section B.8). List or explain.

- 1) Traffic Report prepared by F.A. Hesketh & Associates, Inc. - Dated August 14, 2015
- 2) On-site Soil Investigation Report prepared by Connecticut Ecosystems, LLC -
- Dated August 11, 2015

(end of Applicant section)

* * * * *

(for office use only)

date application was received by the PZC _____ fee submitted _____

date of Public Hearing _____ date of PZC action _____

action: _____ approved _____ denied effective date _____

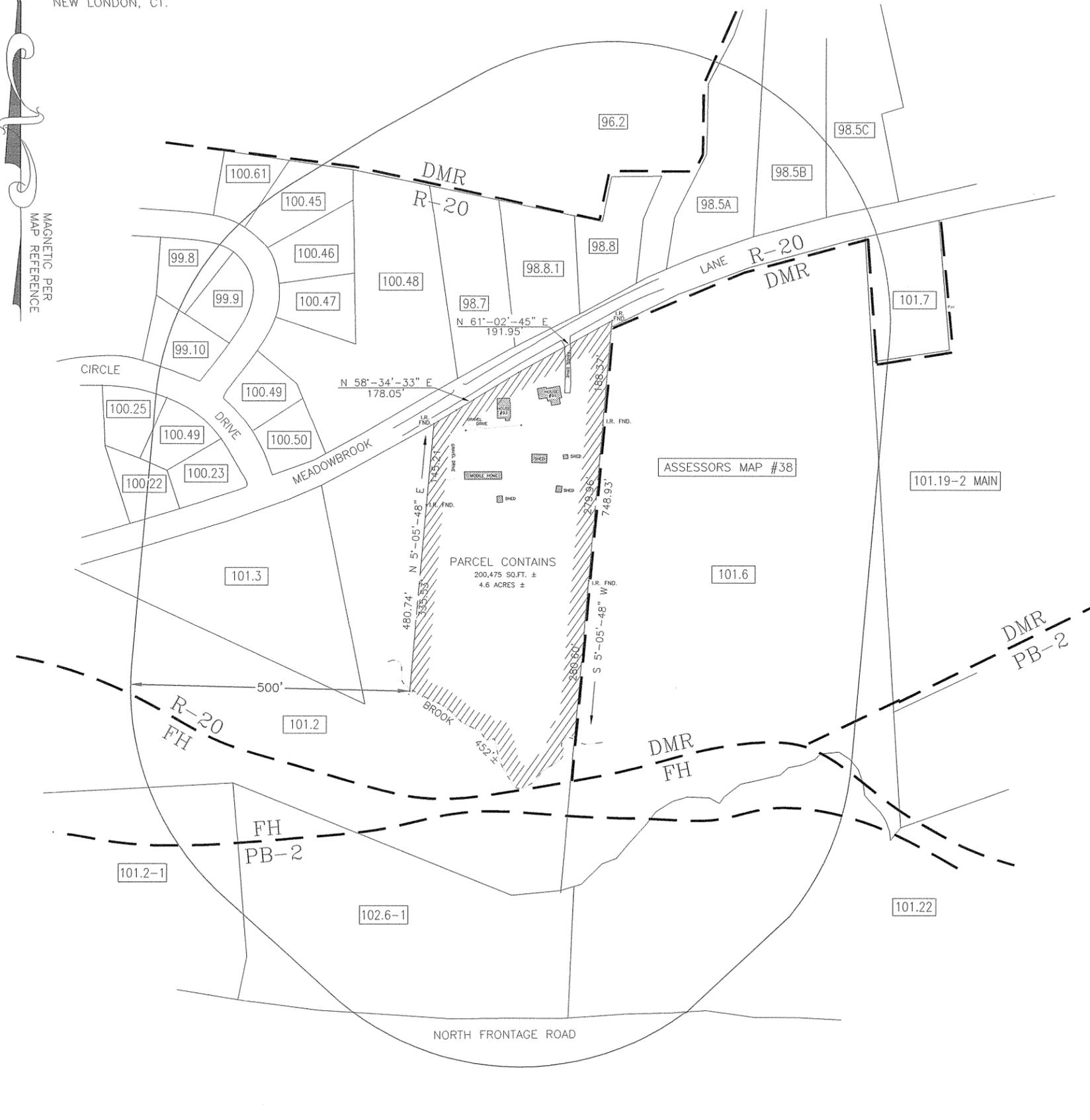
comments:

signed _____
Chairman, Mansfield Planning & Zoning Commission

date _____

MAP REFERENCE:

"PROPERTY SURVEY OF 91 & 93 MEADOWBROOK LANE MANSFIELD, CT PREPARED FOR JACK YANG" SHEET NO. 1 OF 1 SCALE 1"=40' JANUARY 8, 2015 PROJECT NO. 14-079 PREPARED BY J DEMPSEY ASSOCIATES PROFESSIONAL LAND SURVEYORS 76 BRAINARD ST. NEW LONDON, CT.

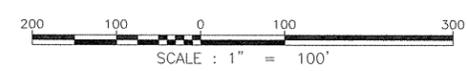


AERIAL VIEW
SCALE: 1" = 800'±

---ABUTTERS WITHIN 500 FEET---

Parcel ID: 38.101.4 UNIGLOBE INVESTMENT LLC 15 BUTTONWOOD DR TRUMBULL CT 06611	Parcel ID: 38.98.8-1 BARUS JOHNS 92 MEADOWBROOK LA MANSFIELD CENTER CT 06250	Parcel ID: 38.99.8 YORRICE HOWARD & JUDITH 60 CIRCLE DRIVE MANSFIELD CENTER CT 06250
Parcel ID: 38.99.9 PIERCE DIANE E 66 CIRCLE DRIVE MANSFIELD CENTER CT 06250	Parcel ID: 38.99.10 ESTELL WAYNE 8 CIRCLE DRIVE MANSFIELD CENTER CT 06250	Parcel ID: 38.100.22 MAZZARELLA THOMAS R 120 MEADOWBROOK LA MANSFIELD CENTER CT 06250
Parcel ID: 38.100.23 SKEWES PHILIP R & MARION H 118 MEADOWBROOK LA MANSFIELD CENTER CT 06250	Parcel ID: 38.100.24 MOORE JAMES AND STEPHANE 7 CIRCLE DRIVE MANSFIELD CENTER CT 06250	Parcel ID: 36.100.25 BURZELLI ANNA 11 CIRCLE DRIVE MANSFIELD CENTER CT 06250
Parcel ID: 38.100.44 BELLOW SHIRLEY 61 CIRCLE DRIVE MANSFIELD CENTER CT 06250	Parcel ID: 38.100.46 CUNNINGHAM RICHARD W III 65 CIRCLE DRIVE MANSFIELD CENTER CT 06250	Parcel ID: 38.100.47 EVANS DONALD E & ANITA B 67 CIRCLE DRIVE MANSFIELD CENTER CT 06250
Parcel ID: 38.100.48 FREDERICK STEVEN E & JOANNE 69 CIRCLE DRIVE MANSFIELD CENTER CT 06250	Parcel ID: 38.100.49 VAZQUEZ GUSTAVO 73 CIRCLE DR MANSFIELD CT 05268	Parcel ID: 38.101.2 BROWN EDWARD J JR 147 MEADOWBROOK LA MANSFIELD CENTER CT 06250
Parcel ID: 38.101.2-1 UNITED SOCIAL AND MENTAL HEALTH RESOURCES INC 1007 NORTH MAIN STR DAVILLVILLE CT 06241	Parcel ID: 38.101.3 MANSFIELD TOWN OF TOWN PARK/BASEBALL FIELD TOWN HALL STORRS CT 06268	Parcel ID: 38.101.6 UNIGLOBE INVESTMENT LLC 15 BUTTONBALL DR NEWINGTON CT 06111
Parcel ID: 38.101.7 KANE GEOFFREY G 68 MEADOWBROOK LA MANSFIELD CENTER CT 05250	Parcel ID: 38.102.6-1 TUBRIDY KEVIN M 25 LEDGEBROOK DRIVE MANSFIELD CENTER CT 06250	Parcel ID: 38.98.5A BACON PAUL J & SHANNON B 80 MEADOWBROOK LANE MANSFIELD CENTER CT 06250
Parcel ID: 38.100.45 GONZALEZ JULIO & LABOY PETRA M 63 CIRCLE DRIVE MANSFIELD CENTER CT 06250	Parcel ID: 38.100.50 ACKLEY HARRIET 79 CIRCLE DRIVE MANSFIELD CENTER CT 06250	Parcel ID: 38.101.5 UNIGLOBE INVESTMENT LLC 15 BUTTONWOOD DR TRUMBULL CT 06611
Parcel ID: 38.98.59 BERMAN KATHLEEN A 26 PINE RIDGE LANE MANSFIELD CENTER CT 06250	Parcel ID: 38.98.50 MURTHA-PARADIS LOUIS F P.O. BOX 441 MANSFIELD CENTER CT 06250	Parcel ID: 38.98.7 HIGHAM JESSICA J G 96 MEADOWBROOK LA MANSFIELD CENTER CT 06250
Parcel ID: 38.98.8 CHUNG YINGKI AKA CHUNG YING KI THOMAS 88 MEADOWBROOK LANE MANSFIELD CENTER CT 06250	Parcel ID: 38.101.19-2 MAIN EASTBROOK HEIGHTS ASSOCIATES 392 A MERRROW RD TOLLAND CT 06084	

ZONE CHANGE MAP
PREPARED FOR
UNIGLOBE INVESTMENT LLC.
91 & 93 MEADOWBROOK LANE
MANSFIELD, CONNECTICUT
SCALE: 1" = 100' DATE: JANUARY 8, 2016



THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS AN IMPROVEMENT LOCATION MAP BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2. THIS SURVEY AND MAP IS INTENDED TO ENABLE DETERMINATION OF COMPLIANCE OR NON-COMPLIANCE WITH APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS WITH RESPECT TO IMPROVEMENTS AS SHOWN.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

EDWARD PELLETIER, L.S. #14203
ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE. NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.



ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1357 FAX (860)456-1840

CHECKED BY: _____ CORRECTIONS BY: _____

Statement of Justification

January 11, 2016

Amendment of the Zoning Map 91 & 93 Meadowbrook Lane Zone R-20 to DMR

Description of Property:

The proposed amendment to the Town of Mansfield Zoning Map is for a 4.6 acre parcel consisting of properties known as 91 & 93 Meadowbrook Lane (Meadowbrook Gardens a/k/a Whispering Glen - Phase II) to be incorporated with the property known as 73 Meadowbrook Lane (Whispering Glen - Phase I). The subject properties presently contain two single family dwellings and a mobile home abutting Meadowbrook Lane on the north, Phase I of Whispering Glen on the east, west by wetlands associated with an existing brook running southerly from Meadowbrook Lane, Sunny Acres recreation area and southerly by the brook that ties into Conantville Brook.

The parcel is gently sloping with steeper slopes to the south end of the property towards the brook and contains a swale along the westerly side directing storm water toward the brook. Site is lightly wooded with areas of evergreen trees with sparse undergrowth down to the wetlands and brook.

Consistency with the sustainability principles:

The Town of Mansfield Plan of Conservation and Development dated October 8, 2015. Some of the policy goals set forth in this document are as follows:

1. Preserve natural systems and resources - Buffers will be maintained adjacent to the existing brook to protect the existing vegetation, wildlife habitats and slopes. Development will include ground water recharge designs and low impact designs (LID).
2. Respect and value community context - Buildings will be set back 100 feet from Meadowbrook Lane and landscaped to maintain the rural character. Development of the site will promote a community neighborhood.
3. Promote resource efficiency - Through storm water management and use of public water and sewer systems this development efficiently utilizes the existing infrastructures and maintains open space around existing natural features.
4. Adapt to changing climate conditions - Through on-site storm water management recharge dry wells are placed throughout the site. Wetland soils and steep slopes have been preserved to maintain natural features.
5. Promote connectivity - Phase II is a continuation of the existing Whispering Glen project presently under construction promoting efficient circulation and preserving natural features along the wetland corridor.
6. Direct development to appropriate areas in compact and efficient patterns - With available public water and sewers this site is ideal for compact residential development and located in the East Brook Mall area of southern Mansfield. The proposed site will be an extension of Whispering Glen.

Given the stated sustainability principles the proposed zoning change is consistent with the Town's Plan of Development:

1. Increase the size of the existing DMR zone located to the east by 4.6 acres and bring the total acreage owned by Uniglobe Investment, LLC to 14.89 acres.
2. Public water and sewers are readily available and have adequate capacities.
3. Abutting land to the east is presently zoned DMR. Southerly and westerly properties are zoned R-20 which is consistent with proposed change to DMR.
4. The proposed project will provide buffer strips adjacent to the wetlands along with low impact designs to protect the wetland systems.
5. The proposed site is located 300 feet from an existing recreation area known as Sunny Acres.
6. The proposed high density residential use is convenient to existing retail and commercial facilities.
7. The location of the proposed high density residential use is close to services and energy efficient in terms of minimal travel time and gasoline consumption.
8. The proposed project will provide high quality residential units providing carefree living conditions (condominium association).
9. The proposed project will provide 20% of its units as Affordable Housing (18 units).

SCHEDULE A

First Tract

91 Meadowbrook Lane, Mansfield, CT

A certain tract or parcel of land with all buildings thereon, situated in the Town of Mansfield, County of Tolland and State of Connecticut, bounded and described as follows, to wit:

Situated on the southerly side of Conantville Road, so called, and commencing at a point in the southerly line of the above mentioned road, and at the northwest corner of land owned by one Mrs. Ants, said point being in the center of an old abandoned road leading from the Kemp Place, so called, to the Conantville Road the line runs thence westerly in the southerly line of said Conantville Road for a distance of 370 feet to other land of the grantors herein, thence southerly by land last mentioned for a distance of 492 feet, more or less, to a brook formerly known as Eaton's Brook; thence easterly by said brook for a distance of 370 feet, more or less, to land of said Ants; thence northerly by land last mentioned for a distance of 492 feet, or more or less, to the first mentioned point and place of commencement.

Excepting therefrom that parcel of land conveyed by Warranty Deed of Yvonne B. Chasse to William G. Melanson and Mary Melanson dated May 11, 1950 and recorded May 25, 1950 in Volume 71 at Page 123 of the Mansfield Land Records.

Said property is shown as "TOTAL AREA 200,382 SF 4.6 AC" on a map entitled "PROPERTY SURVEY OF 91 & 93 MEADOWBROOK LANE MANSFIELD, CT PREPARED FOR JACK YANG" sheet No. 1, 1" = 40' dated January 8, 2015 prepared by J Dempsey Associates LLC, Jerome J. Dempsey, LS #18141 which map is to be filed on the Mansfield Land Records simultaneously with this deed.

Subject to and together with:

1. Conditions set forth in Notice of Special Permit granted by the Mansfield Planning and Zoning Commission and recorded March 1, 1996 in Volume 370 at Page 366 of the Mansfield Land Records (This relates to the mobile home described as 95 Meadowbrook Lane).

Said premises are conveyed subject to the following matters appearing of record:

1. The second half of the real estate taxes and fire district taxes payable to the Town of Mansfield on the October 1, 2014 Assessment List.
2. The effect if any of a Permanent Sewer Easement to the Town of Mansfield recorded November 14, 1974 at Volume 132 page 263 and Vol. 10 Page 141.
3. Boundary Line Agreement by and between James J. Chasse and Edward J. Brown Jr. dated September 17, 2015 and recorded on September 18, 2015 in Volume 774 Page 526 in Mansfield Land Records.

Second Tract

93 Meadowbrook Lane, Mansfield, CT

A certain tract or parcel of land with all buildings thereon, situated in the Town of Mansfield, County of Tolland and State of Connecticut, bounded and described as follows, to wit:

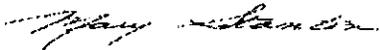
Beginning at a point on the southerly side of the road leading from Ash Street or Ash Street Extension to Contantville, and known as the Conantville Road, at the northwest corner of the land of Yvonne B. Chasse and the northeast corner of land herein conveyed, at a small pine tree and pin set in the ground, the line runs thence southerly along Chasse's land 95 feet to other land of said Chasse; thence westerly along other land of said Chasse 100 feet to together land of said Chasse; thence northerly along other land of said Chasse 40 feet to the southerly line of said Conantville Road; thence easterly along said Road 130 feet to the point of beginning.

Reference shall be had to a "0.17 acres" parcel on a certain map entitled "PROPERTY SURVEY OF 91 & 93 MEADOWBROOK LANE MANSFIELD, CT PREPARED FOR JACK YANG" sheet No. 1, 1" = 40' dated January 8, 2015 prepared by J Dempsey Associates LLC, Jerome J. Dempsey, LS #18141 which map is to be filed on the Mansfield Land Records simultaneously with this deed.

Said premises are conveyed subject to the following matters appearing of record:

1. The second half of the real estate taxes and fire district taxes payable to the Town of Mansfield on the October 1, 2014 Assessment List.

Received for Record at Mansfield, CT
On 09/23/2015 At 11:52:02 am



RECEIPT OF APPLICATION FOR A SPECIAL PERMIT:

_____, move and _____ seconds to receive the

Special Permit Application (File #1284-3)

submitted by **Uniglobe Investment, LLC**

for **a Multi-Family Development with 36 dwelling units**

on property located at **91 & 93 Meadowbrook Lane**

as shown on plans dated **1/8/16**

as shown and described in application submissions, and to refer said application to staff and committees, for review and comments and to set a **Public Hearing for 5/2/16.**

SPECIAL PERMIT APPLICATION
(see Article V, Section B of the Zoning Regulations)

Mansfield Planning and Zoning Commission

File # 1284-3
Date 2-9-16

1. Name of development (where applicable) Meadowbrook Gardens
2. Proposed use of the property is multifamily development for 36 dwelling units
in accordance with Sec.(s) I.1 of Article VII (Permitted Use provisions) of the Zoning Regulations
3. Address/location of subject property 91 & 93 Meadowbrook Lane
Assessor's Map 38 Block 101 Lot(s) 4 & 5 Vol. 774 Page 530
4. Zone of subject property R20 Acreage of subject property 4.6
5. Acreage of adjacent land in same ownership (if any) 9.1
6. APPLICANT Uniglobe Investment, LLC 
(please PRINT) Signature
Street Address 73 Meadowbrook Lane Telephone 203-260-5325 - Scott Garrett
Town Mansfield Center, CT Zip Code 06250
Interest in property: Owner Optionee _____ Lessee _____ Other _____
(If "Other", please explain) _____

7. OWNER OF RECORD: same as applicant
(please PRINT) Signature
(OR attached Purchase Contract _____ OR attached letter consenting to application _____)
Street Address _____ Telephone _____
Town _____ Zip Code _____
8. AGENTS (if any) representing the applicant who may be directly contacted regarding this application:
Name Robert Magi Telephone 203-692-5222
Address 73 Meadowbrook Lane, Mansfield Center, CT Zip Code 06250
Involvement (legal, engineering, surveying, etc.) Project Manager
Name Edward Pelletier Telephone 860-456-1357
Address 132 Conantville Road, Mansfield Center, CT Zip Code 06250
Involvement (legal, engineering, surveying, etc.) Surveyor
Datum Engineering & Surveying, LLC

(over)

9. The following items have been submitted as part of this application:

- Application fee in the amount of \$ _____
- Statement of Use further describing the nature and intensity of the proposed use, the extent of proposed site improvements and other important aspects of the proposal. To assist the Commission with its review, applicants are encouraged to be as detailed as possible and to include information justifying the proposed special permit with respect to the approval criteria contained or referenced in Article V, Section B.5.
- Site plan (6 copies) as per Article V, Section B.3.d
- Site plan checklist including any waiver requests
- Sanitation report as per Article V, Section B.3.e - Pending Willimantic Sewer Dept. Approval
- Acknowledgement that certified notice will be sent to neighboring property-owners, as per the provisions of Article V, Section B.3.c (use Neighborhood Notification Form).
- N/A As applicable for projects within the watershed of the Willimantic Reservoir, acknowledgement that certified notice will be sent to the Windham Water Works, as per the provisions of Article III, Section I.
- N/A As applicable for projects within State designated aquifer protection areas, acknowledgment that the Commissioner of Public Health will be notified as per the provisions of Article III, Section I. The State Department of Public Health's on line form (www.dph.state.ct.us/BRS/Water/Source_Protection/PA0653.htm) shall be used with a copy of the submittal delivered to the Planning Office.
- Other information (see Article V, Section B.3.g). Please list items submitted (if any):
Project Statement of Use
Traffic Study Letter Only-No attachments

10. **ALL APPLICATIONS, INCLUDING MAPS AND OTHER SUBMISSIONS, MUST COMPLY WITH ALL APPLICABLE SECTIONS OF THE ZONING REGULATIONS, INCLUDING, BUT NOT LIMITED TO:**

- Art. X, Sec. E, Flood Hazard Areas, Areas Subject to Flooding
- Art. V, Sec. B, Special Permit Requirements (includes procedure, application requirements, approval criteria, additional conditions and safeguards, conditions of approval, violations of approval, and revisions)
- Art. VI, Sec. A, Prohibited Uses
- Art. VI, Sec. B, Performance Standards
- Art. VI, Sec. C, Bonding
- Art. VII, Permitted Uses
- Art. VIII, Dimensional Requirements/Floor Area Requirements
- Art. X, Sec. A, Special Regulations for Designed Development Districts
- Art. X, Sec. C, Signs
- Art. X, Sec. D, Parking and Loading
- Art. X, Sec. H, Regulations regarding filling and removal of materials
- Art. X, Sec. S, Architectural and Design Standards

MAP CHECKLIST
FOR USE WITH SITE PLAN OR SPECIAL PERMIT APPLICATIONS

(To be submitted by applicant with other application materials)

PZC File # _____

Date _____

Name of Development Meadowbrook Gardens

Applicant Uniglobe Investment, LLC

This checklist is designed to assist applicants as well as the PZC and staff. It is not intended as a substitute for, nor does it contain all of, the information and requirements in the Zoning Regulations and other applicable Town Ordinances and requirements. It is important to note that the Zoning Regulations allow the PZC to waive certain site plan requirements for minor applications where the information is not needed to determine compliance with the Regulations. It is recommended that the Mansfield Director of Planning be contacted if an applicant intends to seek a waiver of certain site plan requirements or if any questions arise. **Any requested waivers must be identified on this checklist.**

Unless waived by the Planning & Zoning Commission, submitted site plans shall include the following information (for more complete and specific descriptions of site plan requirements, see Article V, Section A.3.d of the Zoning Regulations):

	Included	Not Included	Waiver Requested* (see p. 3)
1. Title block: Applicant and owner's name, scale, date & all revision dates	<u> X </u>	_____	_____
2. Original signature/seal of surveyor, landscape architect and/or engineer responsible. Unless waived, survey to be to A-2 standards	<u> will be provided </u>	_____	_____
3. Location map at 1"=1,000' scale (see Art. V. Sec. A.3.d.4 for more details)	<u> X </u>	_____	_____
4. Property lines, sq. footage, setback lines, N. arrow, zone(s)	<u> X </u>	_____	_____
5. Edges of adjacent street, utility poles & underground lines, stone walls, fences, roadside features	<u> X </u>	_____	_____
6. Names/addresses of abutting property owners, including those across street (for Special Permit property owners, within 500 ft. of site)	<u> X </u>	_____	_____
7. Existing & proposed buildings, structures, signs, floor plans, buildings on adjacent land that may be affected	<u> X </u>	_____	_____
8. Existing & proposed contours, quantity of material to be added or removed	<u> X </u>	_____	_____

(con't.)

	Included	Not Included	Waiver Requested* (see p. 3)
9. Watercourses, wetlands, flood hazard areas, aquifers	<u>X</u>	_____	_____
10. Exposed ledge, areas shallow to bedrock	<u>X</u>	_____	_____
11A. Waste disposal, water supply facilities	<u>X</u>	_____	_____
11B. Test pit & percolation test locations & findings (include test dates)	<u>X</u>	_____	_____
12A. Existing & proposed drainage facilities, roadways, bridges, pedestrian ways, utilities (including construction details)	<u>X</u>	_____	_____
12B. Existing & proposed easements, rights-to-drain	<u>X</u>	_____	_____
12C. Proposed sediment & erosion controls	<u>X</u>	_____	_____
13A. Existing & proposed offstreet parking & loading areas, fire access lanes	<u>X</u>	_____	_____
13B. Outside storage & refuse areas, fuel & chemical storage tanks	<u>X</u>	_____	_____
14. Existing & proposed fencing, walls, landscaping (including plant size & type, historic features)	<u>X</u>	_____	_____
15. Existing & proposed outdoor illumination (including method & intensity of lighting)	<u>X</u>	_____	_____
16. Existing & proposed outdoor recreation features, with construction details for any recreation improvements	<u>X</u>	_____	Community Building in Whispering Glen Phase I
17. Other information (see Art. V, Sections A.3.g, B.3.g)	_____	_____	_____

Note: For non-exempt applications subject to Sand and Gravel regulations (Art. X, Sec. H), additional special application provisions must be met.

Datum Engineering & Surveying, LLC
Edward Pelletier, L.S.

(PRINT)Name of individual completing this form

Signature

Date

(con't.)

MEADOWBROOK GARDENS

91 & 93 Meadowbrook Lane, Mansfield, Connecticut

Town of Mansfield Planning and Zoning Commission

PROJECT STATEMENT OF USE

January 25, 2016

Project Applicant:
Uniglobe Investment LLC

Uniglobe Investment LLC is proposing to construct four buildings consisting of a total of 36 units having one and two bedrooms and a Cape Cod style architecture. The project consists of two parcels known as 91 and 93 Meadowbrook Lane which has two existing single family dwellings and one mobile home containing 4.6 acres. The existing structures will be demolished as part of this project.

The proposed Design Multiple Residence (DMR) multifamily use is identical to the existing DMR zone to the east presently owned by this applicant. The proposed plan provides enhanced landscaping along Meadowbrook Lane as a buffer to the R-20 zone to the north across from Meadowbrook Lane.

The proposal is consistent with the Town's Plan of Development in that:

1. Proposes increased residential density in a zone that has a medium to high density.
2. The site has immediate access to public water and sewer.
3. The site is located on a collector street affording vehicular accessibility.
4. The site abuts a similarly zoned land (DMR).
5. The proposal provides preservation of the onsite watercourse and associated wetlands.
6. The site is near town recreation facilities.
7. The site is near existing commercial and retail establishments.
8. The proposal provides 20% Affordable Housing units.
9. The proposal incorporates Best Management Practices (BMP) for storm water management.

In addition, the location, size, character and suitability of the proposal, is in general, compatible with Article I - Intent and Purpose, of the Town's Zoning Regulations.

The location of the proposal on a collector street in a residential area and its size of units is in harmony with the orderly development of the Town and compatible with other existing uses abutting the property to the east.

The proposal calls for a New England Cape Cod style architecture with abundant landscaping in order to provide the appearance of an established community immediately after construction. This also provides enhanced stabilization of the site after construction. The soils on the site (Merrimac and Jaffrey) being well drained sands and gravel with no bedrock near the surface requiring no basting. The materials on the site are ideal for driveway and parking area subbase. Process gravel will be brought in for the final base prior to paving.

As part of this proposal, the applicant has offered a 50 foot side yard setback to the east for driveway and parking abutting the R-20 zone. The intent is to leave as much of the existing vegetation in that setback area to provide an excellent buffer to the wetlands. Along the south side the property slopes down to the brook, the slope is remaining undisturbed to maintain a buffer between the proposed development and wetlands. This project is proposed to be built as a community with a 100 foot yard setback from Meadowbrook Lane and heavily landscaped providing an enhanced street scape minimizing visual and noise buffer reducing neighborhood impacts.

This proposal also seeks to reduce the separation distance between buildings from 50 feet to 30 feet minimum, in accordance with Article X.A.5.f. This request for reduction would allow the southerly building to be located farther to the north maintaining the existing slope and vegetation adjacent to the brook. 30 feet between buildings is usually sufficient for emergency vehicles.

Maintaining a separation between buildings creates more of a community effect rather than the complex effect several large buildings with multiple units would have and still allow for some density of units. The Cape Cod style architecture, with the individuality of separate structures, creates a village effect which will further be enhanced by the landscaping.

Mitigation of Impacts:

Traffic:

A traffic study has been prepared by F. A. Hesketh & Associates, Inc., dated August 14, 2015 and submitted as part of this application. The previous study has determined the Levels of Services will be very good and that no off site roadway improvements were recommended although a condition of approval requires a walk way to be constructed to Sunny Acres which is presently under design.

Buffer/Landscaping:

A landscape plan has been prepared and submitted with this application to provide visual screening from Meadowbrook Lane along with interior plantings to provide excellent ground cover and screening for residents.

Storm water:

Storm water treatment has been designed to maximize ground water recharge using the well drained soils by the use of dry wells for all the roof leaders providing for a 100 year storm event. Likewise, collection of storm water from driveway and parking areas is directed to galleries and/or retention basins to allow for water treatment and recharge again to accommodate a 100 year storm event. A storm water management plan has been provided, see Erosion, Sedimentation & Maintenance Plan (sheet 6 of 9).

Wetlands/Environmental Impact:

Impacts to the onsite and offsite wetlands are mitigated by maintaining the vegetated area along the west and south side of the project adjacent to the wetlands along with design of the storm water system to handle a 100 year storm event.

Sewer and Water:

The proposed project will be served by public water and sewer system. Water for domestic and fire protection will be provided from the existing 16 inch water main located along Meadowbrook Lane. Sewer from this project to be connected to the existing sewer manhole located on the Whispering Glen project to the east.

Neighborhood Impact:

The setback from Meadowbrook Lane, landscaping buffer proposed between Meadowbrook Lane and site improvements along with the wetland belt and vegetation to the west and south provide excellent visual screening. The residential nature of the proposed development is consistent with the existing uses.

Open/Recreation Space:

Large area to the south, 100 foot front yard setback and the 50 foot setback to the west provide excellent open space and visual buffers and some passive recreation opportunities. In addition, there are off-site town recreation facilities within walking distance of this site to the west.

SCHEDULE OF DIMENSIONAL REQUIREMENTS
ZONE R-20 DMR

	REQUIRED/ALLOWED	PROVIDED
MINIMUM LOT AREA:	5 ACRES	14.89 ACRES
MINIMUM LOT FRONTAGE:	300'	772.57'
MAXIMUM BUILDING HEIGHT:	40'	33'
MAXIMUM BUILDING COVERAGE:	25%	9.9%
*UNIT DENSITY: (5000 SF/UNIT)	86	86

*SEE ART. X.4.A.4.D REQUIRING SPECIAL DIMENSIONAL EXCEPTIONS BY THE COMMISSION

AFFORDABLE HOUSING UNITS (20%) - ART. X SEC. 6.K

TWO BEDROOM UNITS - 1200 SQ.FT. LIVABLE AREA OR LESS	
UNITS IN 2-FAMILY DWELLINGS	0
MULTI FAMILY DWELLINGS	18
ACCESSIBLE HOUSING UNITS	4 MIN.

NOTE: THE DEVELOPER WILL COORDINATE WITH THE MANSFIELD HOUSING AUTHORITY AND OTHER STATE AND REGIONAL AGENCIES THAT PROMOTE AFFORDABLE HOUSING OPPORTUNITIES TO MARKET THE AFFORDABLE UNITS TO LOW AND MODERATE INCOME FAMILIES.

UNIT DENSITY CALCULATION (ART.X.A.5.B)
 TOTAL SITE AREA = 14.89 ACRES (648,302 SQ.FT.)
 AREA OF SLOPES > 15% = 1.97 ACRES (85,085 SQ.FT.)
 AREA OF WETLANDS = 2.89 ACRES (125,828 SQ.FT.)
 641,302 - 85,085 - 125,828 = 430,389 SQ.FT.
 430,389 SQ.FT./5000SF/UNIT = 86.07 UNITS

PARKING-MEADOWBROOK GARDENS-(ART X.A.5.B)
 PARKING REQUIRED (36 UNITS x 2 SPACES/UNIT) = 72
 REGULAR PARKING SPACES PROVIDED - 73
 HANDICAP PARKING SPACES PROVIDED - 4
 TOTAL PARKING SPACES PROVIDED - 77

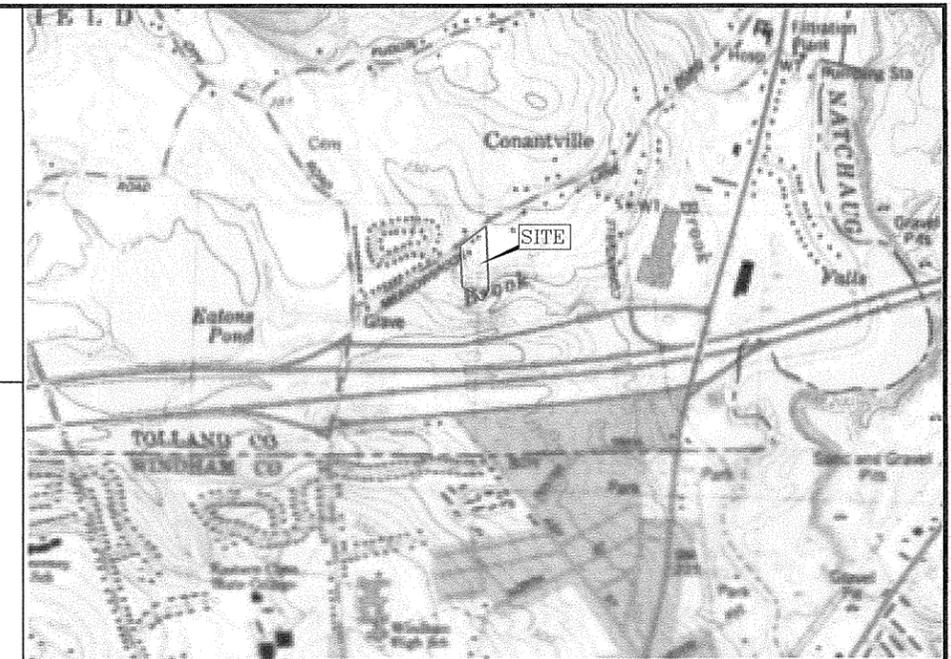
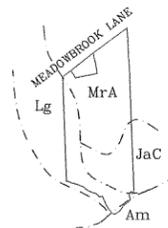
SOIL MAP

SCALE : 1" = 400'

--- SOILS LEGEND ---

SYMBOL DESCRIPTION
 Am ALLUVIAL LAND
 JaC JAFFREY GRAVELLY SANDY LOAM AND LOAMY SAND, 3 TO 15 PERCENT SLOPES
 Lg LEICESTER-RIDGEBURY-WHITMAN VERY STONY COMPLEX
 MrA MERRIMAC FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES

--- SOILS DATA AS PER : "SOIL SURVEY, TOLLAND COUNTY, CONNECTICUT,
 UNITED STATES DEPARTMENT OF AGRICULTURE, SOIL
 CONSERVATION SERVICE"



LOCATION MAP

SCALE : 1" = 1000'

MEADOWBROOK GARDENS

91-93 MEADOWBROOK LANE
 MANSFIELD CENTER, CONNECTICUT 06250

OWNER & APPLICANT

UNIGLOBE INVESTMENT, LLC
 73 MEADOWBROOK LANE
 MANSFIELD CENTER, CT 06250

JANUARY 8, 2016

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APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____
 APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____
 APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____
 APPROVED BY THE DIRECTOR OF PUBLIC WORKS

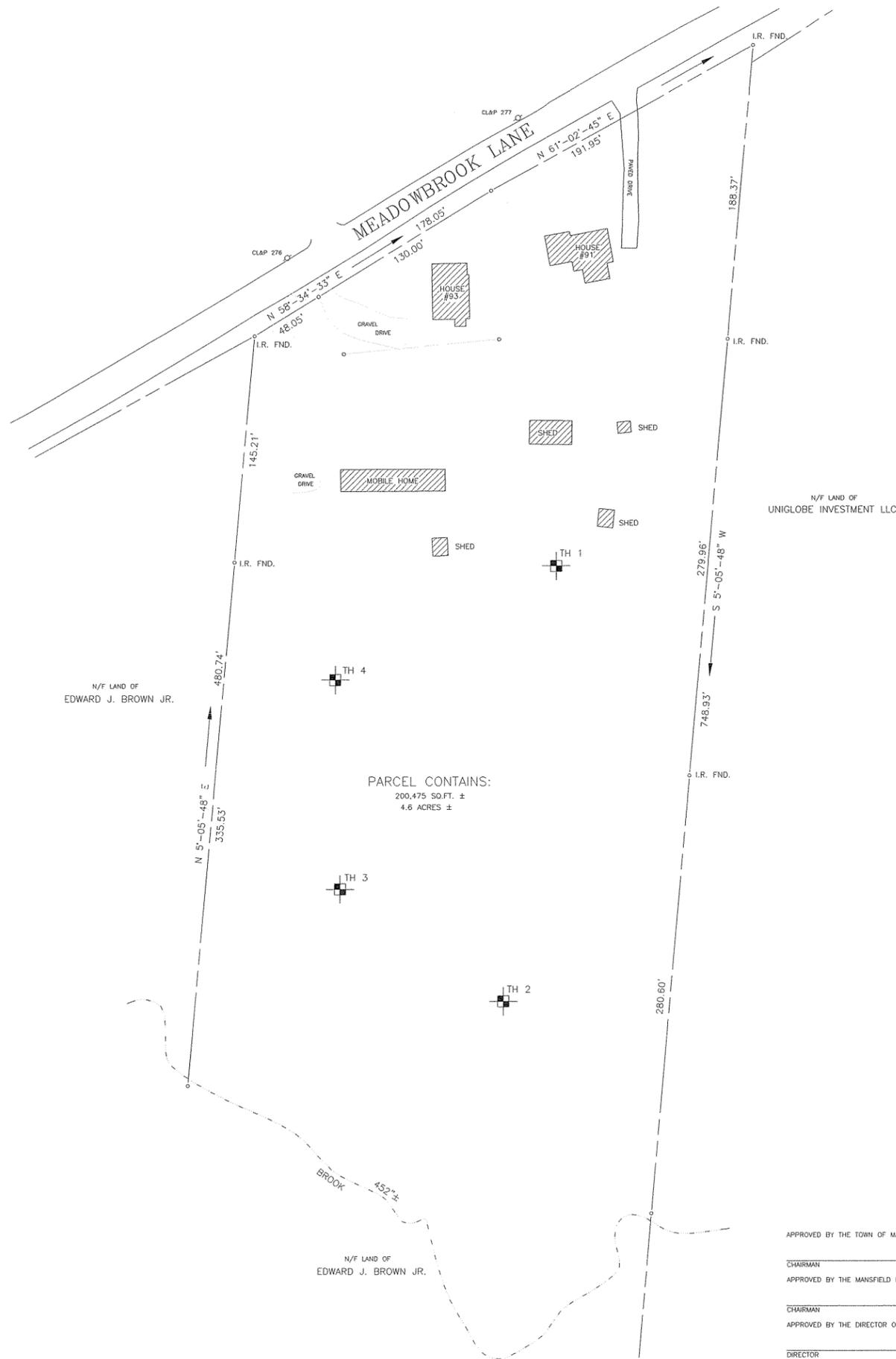
DIRECTOR _____ DATE _____

DATUM ENGINEERING & SURVEYING, LLC
 132 CONANTVILLE ROAD
 MANSFIELD CENTER, CONNECTICUT 06250

GERALD HARDISTY, P.E.
 203 BOSTON HILL ROAD
 ANDOVER, CONNECTICUT 06232

JOHN ALEXOPOULOS, ASLA
 16 STORRS HEIGHTS ROAD
 STORRS, CONNECTICUT 06268

JOB NO. 215049
 SHEET 1 OF 10



PARCEL CONTAINS:
200,475 SQ.FT. ±
4.6 ACRES ±

MAP REFERENCE:

"PROPERTY SURVEY OF 91 & 93 MEADOWBROOK LANE MANSFIELD, CT PREPARED FOR JACK YANG" SHEET NO. 1 OF 1 SCALE 1"=40' JANUARY 8, 2015 PROJECT NO. 14-079 PREPARED BY J DEMPSEY ASSOCIATES PROFESSIONAL LAND SURVEYORS 76 BRAINARD ST. NEW LONDON, CT.

TEST HOLE DATA

OBSERVED BY GERRY HARDISTY, P.E. ON 12/30/15

TEST HOLE 1
0- 5" TOPSOIL
5-12" BROWN FINE SANDY LOAM
12-22" LT. BROWN FINE SAND W/3" BAND AT BOTTOM
22-36" YELLOW/BROWN MED SAND
36-57" REDDISH COARSE SAND & GRAVEL
57-77" YELLOW/BROWN MED/COARSE SAND
VERY DISTINCT LAYERS

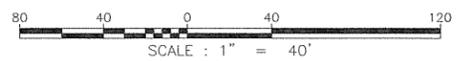
TEST HOLE 2
0-20" DARK BROWN FINE SANDY LOAM
20-44" TAN VERY FINE SILTY SAND
44-60" LAYERS OF FINE SAND & VERY FINE SAND
STRIPPED ORANGE AND GRAY
60-84" COARSE AND VERY COARSE SAND & GRAVEL
NOTE: LAYER OF VERY FINE SAND IN A SLOPE GETTING
DEEPER TOWARDS THE EAST, BETTER MATERIAL
ON THE WEST END.

TEST HOLE 3
COARSE SAND AND GRAVEL TOP TO BOTTOM

TEST HOLE 4
0-24" TRACE TOPSOIL TO DARK BROWN FINE SANDY LOAM
24-46" REDDISH/BROWN FINE SAND TO SILT
46-60" VERY COARSE SAND & GRAVEL
60-72" CLEAN MED-COARSE SAND

LEGEND

- PROPERTY LINE
- ABUTTER PROPERTY LINE
- EDGE PAVEMENT
- EDGE GRAVEL
- IRON ROD FOUND
- UTILITY POLE
- TEST HOLE



BOUNDARY SURVEY
PREPARED FOR
UNIGLOBE INVESTMENT, LLC.
91 & 93 MEADOWBROOK LANE
MANSFIELD, CONNECTICUT
SCALE: 1" = 40' DATE: JANUARY 7, 2016

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY
CHAIRMAN _____ DATE _____
APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION
CHAIRMAN _____ DATE _____
APPROVED BY THE DIRECTOR OF HEALTH
DIRECTOR _____ DATE _____
APPROVED BY THE DIRECTOR OF PUBLIC WORKS
DIRECTOR _____ DATE _____

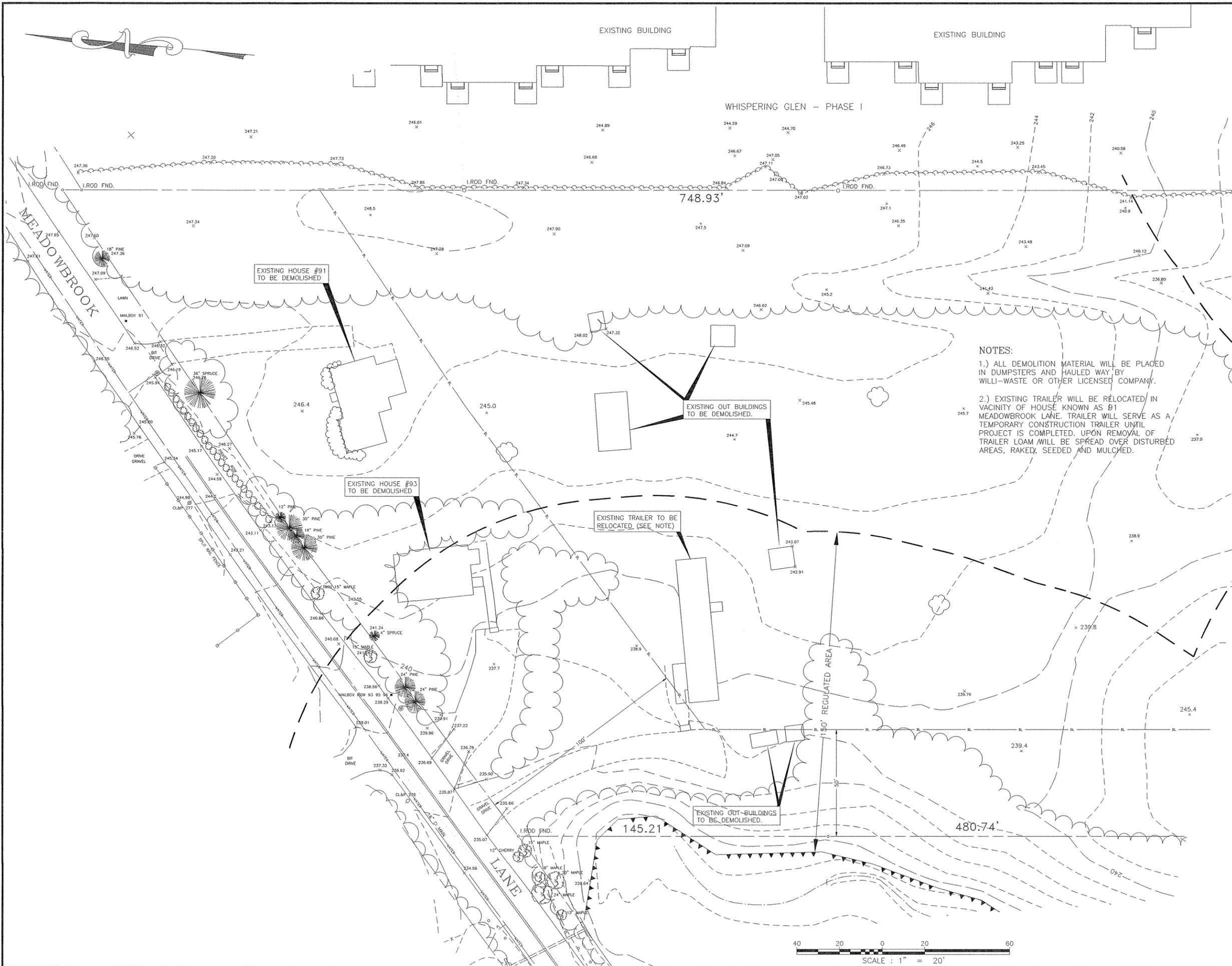
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TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
EDWARD PELLETER, L.S. #14203
ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE. NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.



SHEET 2 OF 10
ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1357 FAX (860)456-1840

CHECKED BY _____ CORRECTIONS BY _____



NOTES:

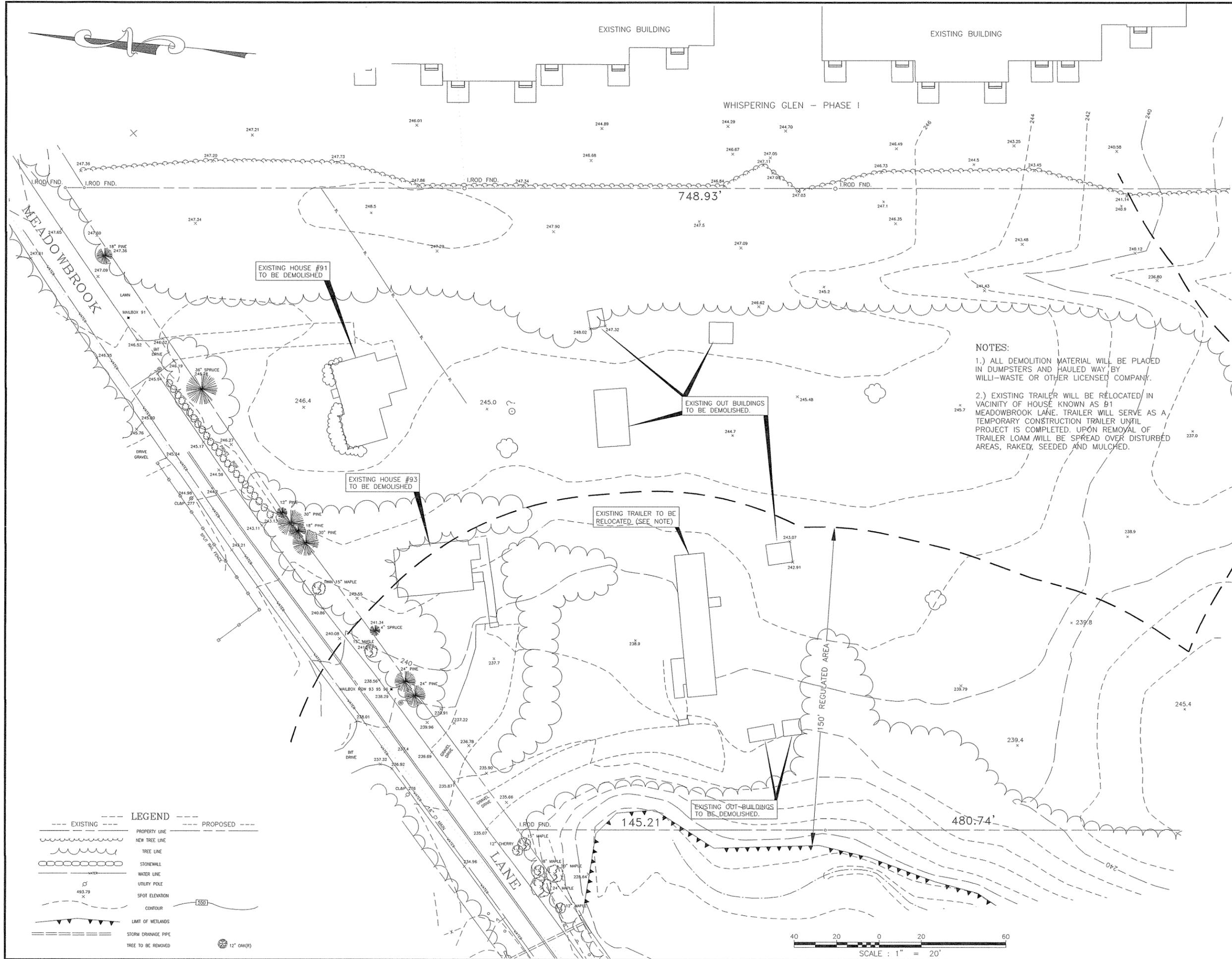
- 1.) ALL DEMOLITION MATERIAL WILL BE PLACED IN DUMPSTERS AND HAULED AWAY BY WILLI-WASTE OR OTHER LICENSED COMPANY.
- 2.) EXISTING TRAILER WILL BE RELOCATED IN VICINITY OF HOUSE KNOWN AS #1 MEADOWBROOK LANE. TRAILER WILL SERVE AS A TEMPORARY CONSTRUCTION TRAILER UNTIL PROJECT IS COMPLETED. UPON REMOVAL OF TRAILER LOAM WILL BE SPREAD OVER DISTURBED AREAS, RAKED, SEEDED AND MULCHED.

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY
 CHAIRMAN _____ DATE _____
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 DIRECTOR _____ DATE _____

DEMOLITION PLAN
 PREPARED FOR
UNIGLOBE INVESTMENTS, LLC
 91 & 93 MEADOWBROOK LANE
 MANSFIELD CENTER, CONNECTICUT
 SCALE: 1" = 20' DATE: OCTOBER 12, 2015

SHEET 3 OF 10
DATUM ENGINEERING & SURVEYING, LLC
 132 CONANTVILLE ROAD
 MANSFIELD CENTER, CT 06250
 TEL (860)456-1357 FAX (860)456-1840
 JOB NO. 215049
 CHECKED BY: _____ CORRECTIONS BY: _____





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CHAIRMAN _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

DEMOLITION PLAN
 PREPARED FOR
UNIGLOBE INVESTMENTS, LLC
 91 & 93 MEADOWBROOK LANE
 MANSFIELD CENTER, CONNECTICUT
 SCALE: 1" = 20' DATE: JANUARY 8, 2016

SHEET 4 OF 10

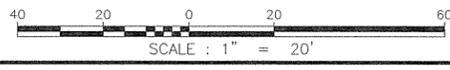
DATUM
 ENGINEERING & SURVEYING, LLC

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 MANSFIELD CENTER, CT 06250
 TEL (860)456-1357 FAX (860)456-1840
 JOB NO. 215049

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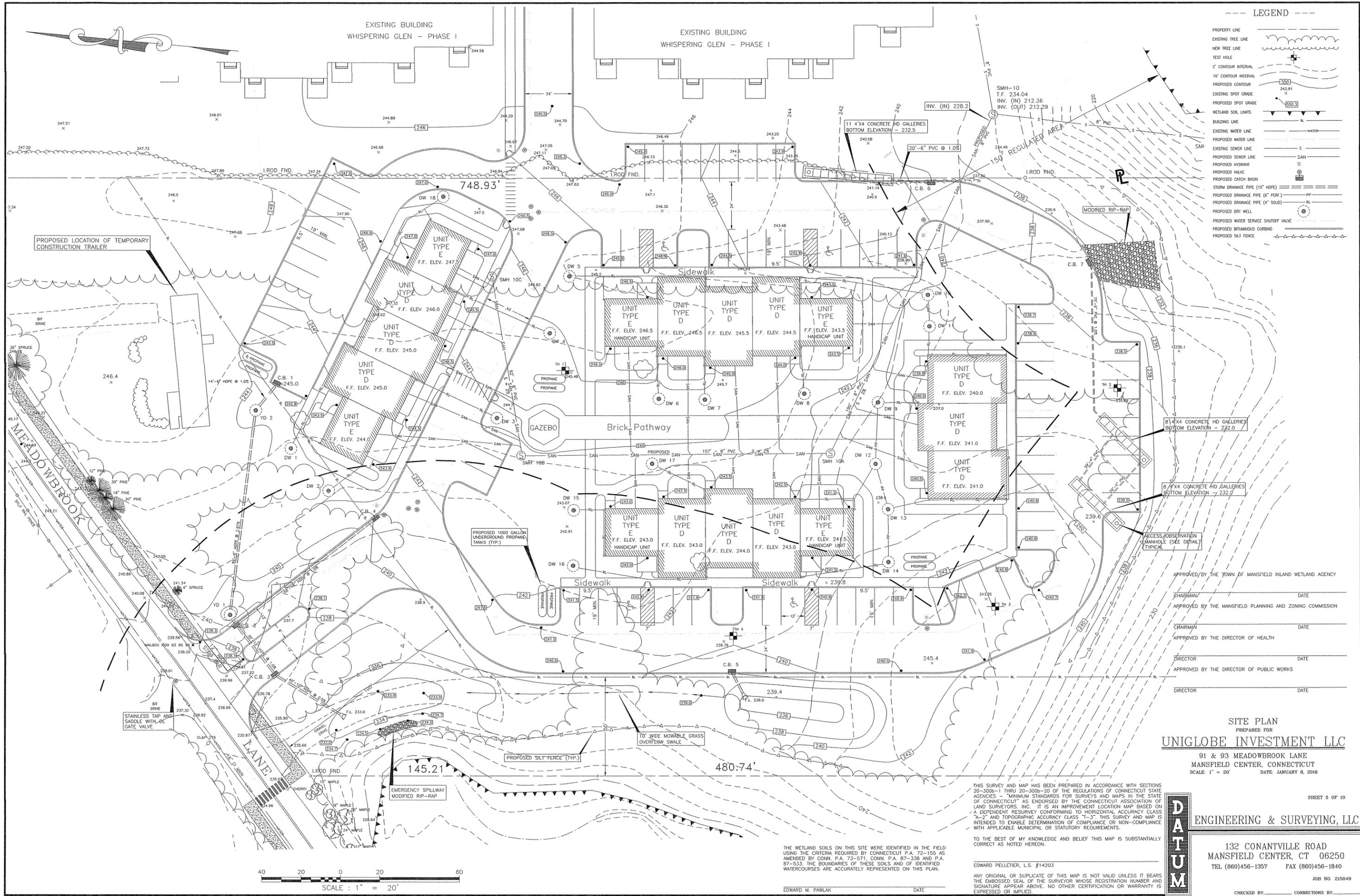
LEGEND

---	EXISTING	---	PROPOSED
---	PROPERTY LINE	---	NEW TREE LINE
---	TREE LINE	---	STONEWALL
---	WATER LINE	---	UTILITY POLE
---	SPOT ELEVATION	---	CONTOUR
---	LIMIT OF WETLANDS	---	STORM DRAINAGE PIPE
---	TREE TO BE REMOVED	---	



--- LEGEND ---

- PROPERTY LINE
- EXISTING TREE LINE
- NEW TREE LINE
- TEST HOLE
- 2' CONTOUR INTERVAL
- 10' CONTOUR INTERVAL
- PROPOSED CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- WETLAND SOIL LIMITS
- BUILDING LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- PROPOSED HYDRANT
- PROPOSED VALVE
- PROPOSED CATCH BASIN
- STORM DRAINAGE PIPE (15" HOPE)
- PROPOSED DRAINAGE PIPE (6" PERF.)
- PROPOSED DRAINAGE PIPE (4" SOLID)
- PROPOSED DRY WELL
- PROPOSED WATER SERVICE SHUTOFF VALVE
- PROPOSED BITUMINOUS CURBING
- PROPOSED SILT FENCE



APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY _____ DATE _____

CHAIRMAN/ _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION _____

CHAIRMAN _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH _____

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS _____

DIRECTOR _____ DATE _____

SITE PLAN
 PREPARED FOR
UNIGLOBE INVESTMENT LLC
 91 & 93 MEADOWBROOK LANE
 MANSFIELD CENTER, CONNECTICUT
 SCALE: 1" = 20' DATE: JANUARY 8, 2015

SHEET 5 OF 10

ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
 MANSFIELD CENTER, CT 06250
 TEL (860)456-1357 FAX (860)456-1840

JOB NO. 215049

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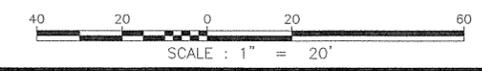
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EDWARD PELLETIER, L.S. #14203

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THE WETLAND SOILS ON THIS SITE WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY CONN. P.A. 73-571, CONN. P.A. 87-338 AND P.A. 97-533. THE BOUNDARIES OF THESE SOILS AND IDENTIFIED WATERCOURSES ARE ACCURATELY REPRESENTED ON THIS PLAN.



EDWARD M. PAWLAK _____ DATE _____

SILT SACS FOR YARD DRAINS AND DRYWELLS
 (SEE SUPPLIER (WWW.SUPPLIES.COM) OR ETC.)

SILT SACS FOR CATCH BASINS
 (SEE SUPPLIER (WWW.SUPPLIES.COM) OR ETC.)

I. GENERAL EROSION AND SEDIMENTATION CONTROL NOTES

THIS CONSTRUCTION PLAN PROPOSES EROSION CONTROL MEASURES WHICH WILL PERFORM ONE OR MORE OF THE FOLLOWING FUNCTIONS: MINIMIZATION OF SOIL EXPOSURE; CONTROL OF RUNOFF; SHIELDING OF THE SOILS AND BINDING OF THE SOILS. PROPER EROSION MANAGEMENT WILL MINIMIZE THE EROSION, BUT IT MUST BE UNDERSTOOD THAT ONLY "REASONABLE" EROSION CONTROL CAN BE EXPECTED. THUS, EVEN WITH THE BEST PLAN, SOME EROSION MUST BE ANTICIPATED. SEDIMENTATION CONTROLS ARE THE SECONDARY LINE OF DEFENSE ON THE CONSTRUCTION SITE.

WATER GENERATED DURING THE CONSTRUCTION OF A PROJECT IS A SERIOUS PROBLEM WHEN NATURAL VEGETATION IS REMOVED OR ALTERED. FOR THIS REASON, A RECOMMENDATION FOR MINIMAL SITE DISTURBANCE TO THE EXISTING VEGETATION AND SOIL IS PROPOSED. MINIMAL SOIL EXPOSURE NOT ONLY ENTAILS REMEDIATING THE SITE DISTURBANCE LIMITS, BUT ALSO INVOLVES THE STAGING OF GRADING AND SUBSEQUENT RE-VEGETATION OF DISTURBED AREAS, SO THAT THE LEAST AMOUNT OF SOIL SURFACE IS EXPOSED AT ANY ONE TIME.

RUNOFF SHALL BE CONTROLLED BY THE INTERCEPTION, DIVERSION AND SAFE DISPOSAL OF PRECIPITATION. RUNOFF SHALL ALSO BE CONTROLLED BY THE STAGING OF CONSTRUCTION ACTIVITY AND THE PRESERVATION OF NATURAL VEGETATION WHENEVER POSSIBLE. THE BINDING OF SOIL PARTICLES TO MAKE THEM LESS SUSCEPTIBLE TO REMOVAL BY RAIN SPLASH OR RUNOFF USING NATURAL AND PHYSICAL "BINDERS" (MULCH AND FABRICS) MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.

TO PREVENT SEDIMENT FROM LEAVING THE SITE, TURBID SURFACE RUNOFF SHALL BE DERTED THROUGH "LEVEL SPREADER" DEVICES. TEMPORARY LEVEL SPREADER DEVICES SHALL BE CREATED BY PLACING ENGINEERING FABRIC DOWN GRADIENT OF SOIL DISTURBING ACTIVITIES. THIS FLOW WILL BE DISPERSED OVER A WIDE AREA AND FILTERED BY THE FABRIC. THE FABRIC SHALL FOLLOW THE EXISTING CONTOURS WITH ENDS OF THE FABRIC TURNED UPHILL TO PREVENT END CUTTING. FILTER FABRIC USED AS SILT FENCE AND NOT PLACED ON THE CONTOURS SHOULD HAVE "WINGS" AT INTERVALS OF NO GREATER THAN 100 FEET TO INTERRUPT FLOW PARALLEL TO THE FENCE. TECHNIQUES SUCH AS "WINGED" FABRIC SILT FENCE, CHECK DAMS, HAY BALES INSTALLED AND MAINTAINED AROUND ALL CATCH BASINS, FABRIC SILT FENCE/LEVEL SPREADERS AND SEDIMENTATION PONDS MAY BE USED.

DUST CONTROL, IF DETERMINED TO BE REQUIRED DURING THE DAILY INSPECTIONS, SHALL BE ACHIEVED BY THE APPLICATION OF ANIONIC OR CATIONIC ASPHALT EMULSIONS, LATEX EMULSION, OR RESIN IN WATER. FOR APPLICATION RATES AND DILUTION REQUIREMENTS, REFER TO THE MANUFACTURER'S GUIDELINES. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST, BUT WATER SHALL NOT BE USED EXCLUSIVELY.

IN AN EFFORT TO REDUCE THE POTENTIAL FOR TRACKING MUD OFF THE SITE, COURSE STONE "TRACKING PADS" AND AN IMMEDIATE CONSTRUCTION OF A GRAVEL SUB-BASE FOR ROADWAYS ARE RECOMMENDED. DIRT TRACKED ONTO EXISTING ROADWAYS SHALL BE REMOVED BY SHOVEL AND G-BROOM AT THE END OF EACH DAY.

EXCAVATION THAT MUST BE DE-WATERED WILL BE PUMPED INTO AN ACTIVE DRAINAGE SYSTEM. BOTH THE INLET AND OUTLET OF THE PUMPS SHALL BE PROTECTED FROM SURGE ACTION, DEBRIS AND OTHER WASTE RESULTING FROM EQUIPMENT MAINTENANCE AND CONSTRUCTION SHALL NOT BE DISCARDED ON SITE. THE BI-WEEKLY EROSION AND SEDIMENTATION MONITORING REPORTS SHALL BE SUBMITTED TO THE ZONING AGENT DURING THE TIME THE ROADWAYS ARE BEING CONSTRUCTED.

IN THE EVENT OF CONFLICT BETWEEN THESE PLANS AND OTHER REGULATIONS, THE MORE STRINGENT SHALL APPLY.

II. CONSTRUCTION SEQUENCE AND DETAILED EROSION CONTROL MEASURES

THIS CONSTRUCTION PLAN PROPOSES EROSION CONTROL MEASURES WHICH WILL PERFORM ONE OR MORE OF THE FOLLOWING FUNCTIONS: 1. A REGISTERED LAND SURVEYOR SHALL FIELD STAKE LIMITS OF CLEARING AND LOCATION OF TEMPORARY SEDIMENTATION BASINS.

2. UPON COMPLETION OF THE FIELD STAKING, ALL VEGETATION, INCLUDING OVERHANGING TREE LIMBS SHALL BE CHIPPED AND SUCH CHIPS SHALL BE STORED IN NON-GRADED AREAS FOR FUTURE USE AS EROSION BERMS ALONG SILT FENCING AND MULCH. EROSION AND SEDIMENT MEASURES SHALL BE INSTALLED AS APPROPRIATE PRIOR TO ANY SITE DISTURBANCE.

3. TEMPORARY STORM WATER RETENTION BASINS SHALL BE CONSTRUCTED AND SITE RUNOFF DIRECTED TOWARD THE BASINS.

4. STUMPING CAN COMMENCE AND BE GROUND INTO CHIPS. CHIPS SHALL BE STOCK PILED IN NON-GRADED AREAS. ANTI-TRACKING PADS SHALL BE INSTALLED PRIOR TO STRIPPING OF THE BALANCE OF THE SITE. THIS ANTI-TRACKING PADDING SHALL BE MAINTAINED AND REPLACED AS NECESSARY.

5. TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AS DEPICTED, AND MAINTAINED UNTIL STORM DRAINAGE STRUCTURES ALONG WITH EROSION AND SEDIMENTATION CONTROLS, HAY BALES, CHECK DAMS, SILT SACKS AND LEVEL SPREADERS HAVE BEEN INSTALLED.

6. ROADWAYS AND PARKING AREAS SHALL BE ROUGH GRADED, DIRECTING STORM WATER RUNOFF TOWARD THE SEDIMENTATION BASINS. EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AND MAINTAINED UNTIL COMPLETION OF THE PROJECT AND SITE DISTURBANCE IS STABILIZED.

7. INSTALLATION OF THE SEWER SYSTEM FROM THE EXISTING MANHOLE ON PHASE 1 AND THEN THE WATER MAIN FROM MEADOWBROOK LANE TO THE EXISTING CONNECTION PROVIDED FOR IN PHASE 1. INDIVIDUAL WATER SERVICES SHALL BE INSTALLED AS BUILDINGS ARE CONSTRUCTED.

8. UNDERGROUND TELEPHONE, CABLE AND ELECTRIC SHALL BE INSTALLED, FOLLOWED BY THE PLACEMENT OF THE PROCESS GRAVEL BASE, BITUMINOUS PAVEMENT AND BITUMINOUS CONCRETE LP CURBING. THE SHOULDERS OF ROADWAYS AND PARKING AREAS SHALL BE FINE GRADED, LOAMED AND SEEDED, AS SPECIFIED.

9. PERMANENT STORM WATER RECHARGE BASINS SHALL BE COMPLETED AND STABILIZED IMMEDIATELY, ALONG WITH THE RIP-RAP OVERFLOW AREA SOUTH OF CATCH BASIN 7. ALL SILT SACKS SHALL BE MAINTAINED AND CHECKED AFTER EVERY STORM EVENT UNTIL THE SITE HAS BEEN COMPLETELY STABILIZED.

BEFORE AND AFTER EACH STORM EVENT AND ONCE EVERY DAY, ALL SEDIMENT AND EROSION CONTROLS WILL BE INSPECTED BY THE ENGINEER OR ENVIRONMENTAL SUPERVISOR. ANY CORRECTIVE MEASURES TO MITIGATE ENVIRONMENTAL CONCERNS WILL BE ORDERED AT THAT TIME. THERE WILL BE 150 FEET OF SILT FENCE WITH THE REQUIRED POSTS ON HAND FOR EMERGENCY SITUATIONS.

III. BUILDING SITE DEVELOPMENT

1. THE LIMITS OF DISTURBANCE SHALL BE ESTABLISHED IN THE FIELD FOR EACH PROPOSED BUILDING. THE MAXIMUM DISTURBANCE LIMITS OF 24-30 FEET BEYOND THE PHYSICAL DIMENSIONS OF THE BUILDING AND RELATED APPURTENANCES IS RECOMMENDED.

2. TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHALL BE STOCKPILED WITH THE AREA OF DISTURBANCE IF NOT USED FOR THE ON SITE RE-GRADING. EACH STOCKPILE SHALL BE ADEQUATELY RINGED ON THE DOWN GRADIENT SIDE WITH SEDIMENT CONTROL MATERIALS MENTIONED PREVIOUSLY.

3. ANY ADDITIONAL STOCKPILING OF LUMBER AND OTHER BUILDING MATERIALS SHALL ALSO BE CONFINED TO THE AREA OF DISTURBANCE. VEHICULAR MOVEMENT SHALL BE DIRECTED TO ESTABLISHED PARKING AREAS.

4. ONCE THE PROPOSED BUILDING IS ENCLOSED, ALL EFFORTS SHALL BE MADE TO COMPLETE ON SITE IMPROVEMENTS, SUCH AS WATER SERVICE, SEWER LATERALS, ROOF LEADER DRAINS, ETC.. THEREAFTER, AREA AROUND THE BUILDING SHALL BE FINE GRADED AND MULCHED.

IV. SEEDING AND PLANTING:

1. SEED BED PREPARATION: FINE GRADE AND RAKE SOIL SURFACE TO REMOVE STONES LARGER THAN 2 INCHES IN DIAMETER FROM LAWN AREAS. APPLY LIMESTONE AT A MINIMUM RATE OF 2 TONS PER ACRE OR 90 LBS. PER 1000 SQUARE FEET. FERTILIZE WITH 10-10-10 AT A RATE OF 300 LBS. PER ACRE OR 7.5 LBS. PER 1000 SQUARE FEET. MOW LAWN AND FERTILIZER INTO SOIL UNIFORMLY TO A DEPTH OF 4 INCHES WITH A WHISK, SPRING-TOOTH HARROW OR OTHER SUITABLE EQUIPMENT FOLLOWING THE CONTOUR LINES.

2. SEED APPLICATION: APPLY GRASS SEED MIXTURE BY HAND, CYCLONE SEEDER OR HYDROSEED. INCREASE SEED MIXTURE BY 10% IF HYDROSEEDING. LIGHTLY DRAG OR TOLL THE SEEDED SURFACE TO COVER SEED. SEED SHALL CONSIST OF A MIXTURE OF KENTUCKY BLUEGRASS (0.45LBS/1000 SF), CREEPING RED FESCUE (0.45 LBS/1000 SF), AND PERENNIAL RYE GRASS (0.10 LBS/1000 SF). SEEDING OF PERMANENT GRASS SEED SHALL BE DONE BETWEEN APRIL 15 AND JUNE 15, OR SEPTEMBER 1 THROUGH OCTOBER 15. IN THE EVENT THAT SEEDING CANNOT BE COMPLETED DURING THE ABOVE DATES, A TEMPORARY GRASS SEED CONSISTING OF 1.0 LBS/1000 SF OF ANNUAL RYE GRASS SHALL BE APPLIED. MOISTURE CONDITIONS SHALL BE SUPPLEMENTED FOR TEMPORARY SEEDING BETWEEN JUNE 16 AND AUGUST 31.

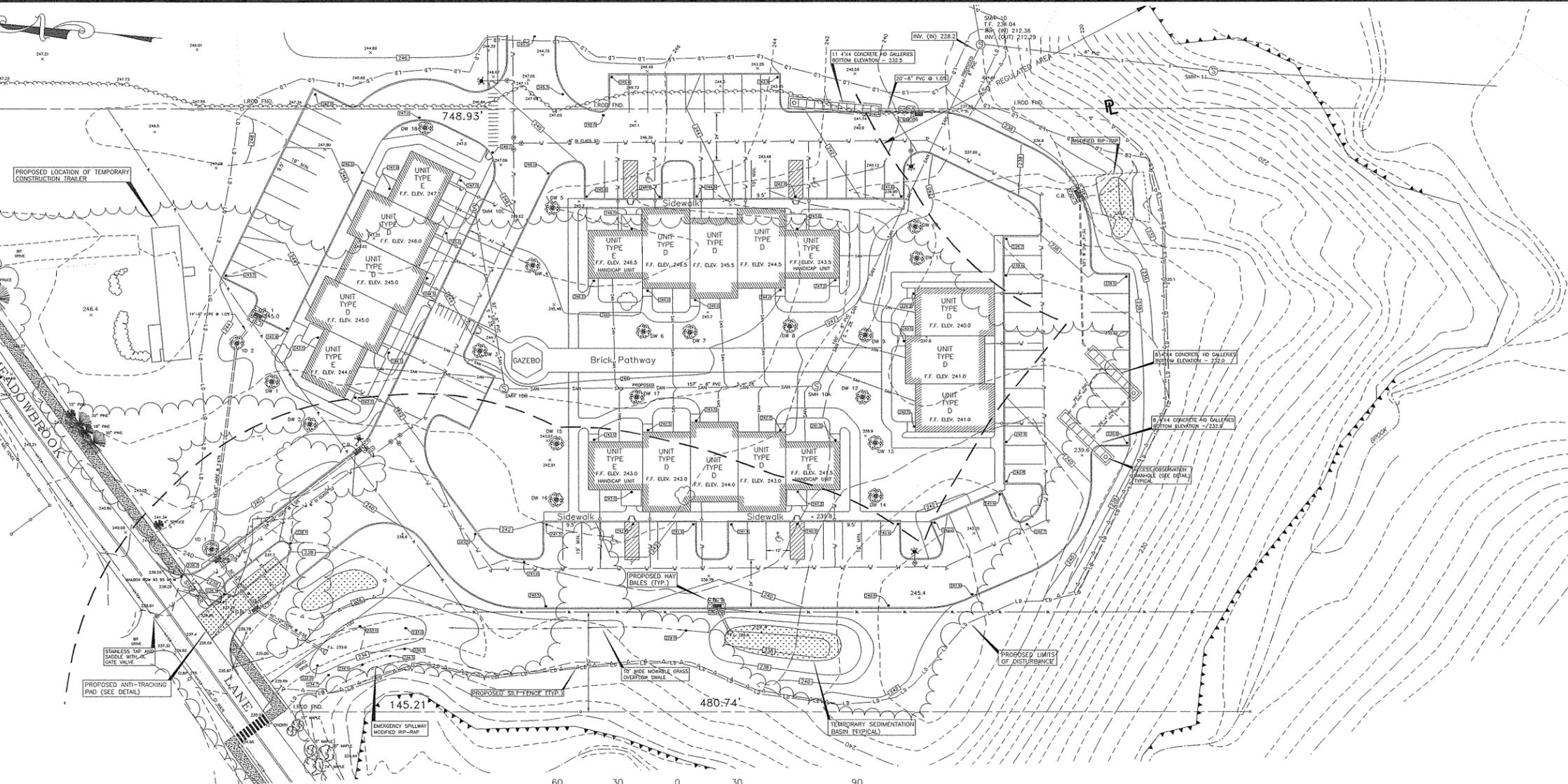
3. MULCHING: IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEEDED SURFACE WITH STRAW OR HAY AT A RATE OF 1.5 TO 2 TONS PER ACRE WHERE SLOPES EXCEED 10 PERCENT. SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH TRACK MACHINE OR DISH HARROW SET STRAIGHT UP. MULCH MATERIAL SHOULD BE SET INTO SOIL SURFACE APPROXIMATELY EVERY 2-3 INCHES.

V. PLAN IMPLEMENTATION

PRIOR TO THE START OF CONSTRUCTION, THERE SHALL BE A PRE-CONSTRUCTION MEETING WITH THE TOWN ZONING AGENT, THE TOWN WETLANDS AGENT, THE SITE CONTRACTOR AND THE CONTRACTOR'S PROFESSIONAL SOIL EROSION AND SEDIMENT CONTROL SPECIALIST TO DISCUSS THE PLAN, INSPECTION PROCEDURES AND REPORT REQUIREMENTS.

REGULAR INSPECTION OF THE SITE SHALL BE PERFORMED TO ENSURE COMPLIANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN AND A SEDIMENT AND EROSION MONITORING REPORT MAY BE REQUIRED BY THE TOWN OF MANSFIELD ZONING AGENT AND INLAND WETLAND AGENT AS DEEMED NECESSARY.

DURING CONSTRUCTION IT SHALL BE THE RESPONSIBILITY OF ROBERT MAGI (TEL. NO. (203) 692-5222) TO ENSURE THE IMPLEMENTATION OF THIS SEDIMENT & EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE SITE OF THE OBJECTIVES OF THE PLAN, NOTIFYING THE WETLANDS AGENT OR HIS DESIGNEE OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF AND WHEN SUCH TRANSFER IS APPROPRIATE. ANY MATERIAL REMOVED FROM SITE AND DEPOSITED IN MANSFIELD MUST BE IN FULL COMPLIANCE WITH APPLICABLE ZONING AND INLAND WETLAND REQUIREMENTS.



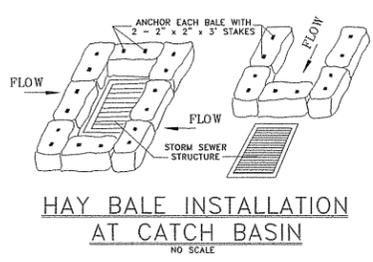
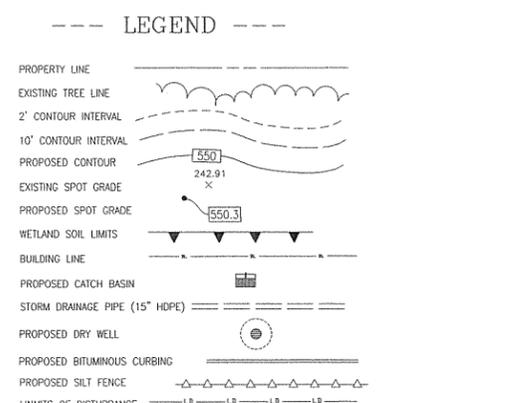
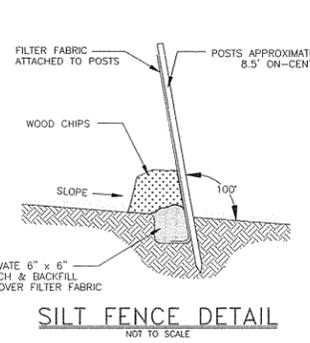
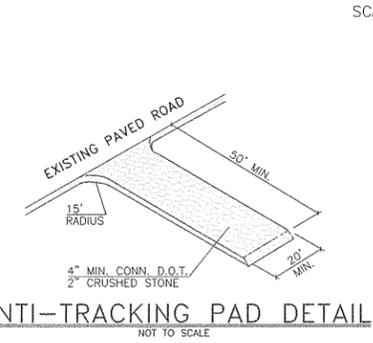
VI. STORM WATER MANAGEMENT PLAN

ONCE CONSTRUCTION IS COMPLETE AND LAWNS AND DISTURBED AREAS FULLY STABILIZED, SOIL EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILT FENCE AND HAY BALES MAY/SHALL BE REMOVED AT WHICH TIME THIS STORMWATER MANAGEMENT PLAN SHALL BE IMPLEMENTED.

CATCH BASINS AND LAWN DRAINS SHALL BE FITTED WITH "SILT SACKS" OR EQUIVALENT GEOSYNTHETIC FILTER FABRICS TO PREVENT SILTATION OR CLOGGING OF CATCH BASIN SLUMPS AND DRYWELLS. SUCH FILTERS SHALL BE INSPECTED REGULARLY (SUCH AS AT TIMES OF LAWN MOWING) AND EMPTIED AND OR REPLACED AS NECESSARY. INFILTRATION BASINS SHALL BE MAINTAINED AS LAWNS, MOWED REGULARLY AND KEPT FREE OF TREES, BRUSH OR BRAMBLES.

BOTH FILTER FABRIC SYSTEMS AND INFILTRATION AREAS BEAR CLOSE MONITORING ESPECIALLY IMMEDIATELY AFTER IMPLEMENTATION. MAINTENANCE AND INSPECTION INTERVALS SHOULD BE ADJUSTED AS NECESSARY BASED ON INSPECTION RESULTS, AND A LOG OF INSPECTION DATES AND RESULTS SHOULD BE MAINTAINED.

EDWARD PELLETIER, L.S. #14203
 ANTICIPATED START DATE: JUNE, 2016 COMPLETION DATE: JANUARY, 2017



APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY
 CHAIRMAN _____ DATE _____
 APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION
 CHAIRMAN _____ DATE _____
 APPROVED BY THE DIRECTOR OF HEALTH
 DIRECTOR _____ DATE _____
 APPROVED BY THE DIRECTOR OF PUBLIC WORKS
 DIRECTOR _____ DATE _____

EROSION, SEDIMENTATION & MAINTENANCE PLAN

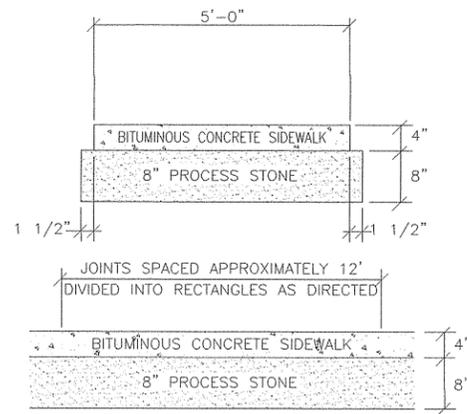
PREPARED FOR
UNIGLOBE INVESTMENT LLC

91 & 93 MEADOWBROOK LANE
 MANSFIELD CENTER, CONNECTICUT
 SCALE: 1" = 30' DATE: JANUARY 8, 2016

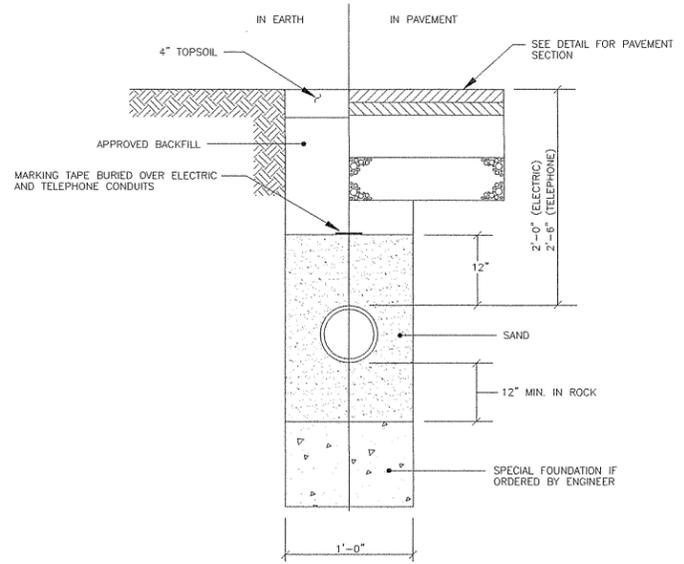
SHEET 6 OF 10

DATUM
 ENGINEERING & SURVEYING, LLC
 132 CONANTVILLE ROAD
 MANSFIELD CENTER, CT 06250
 TEL (860)456-1357 FAX (860)456-1840
 JOB NO. 215049

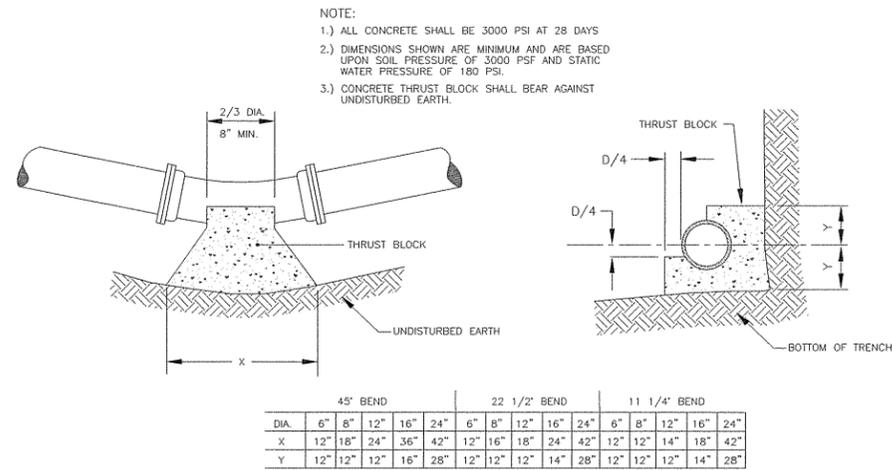
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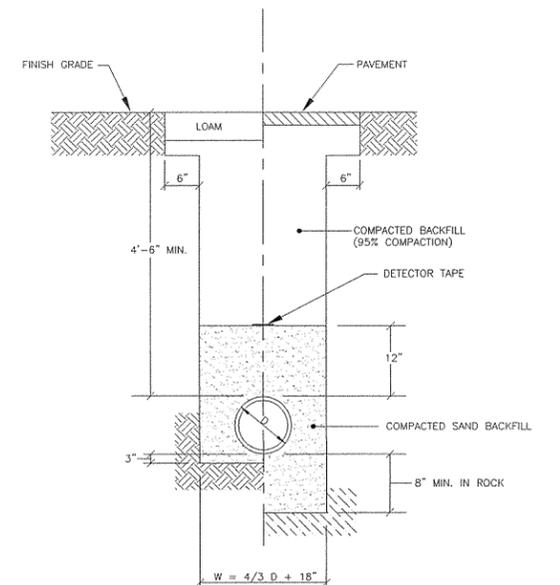
5' BITUMINOUS CONCRETE SIDEWALK
NO SCALE



ELECTRICAL & TELEPHONE PVC CONDUIT TRENCH DETAIL
NOT TO SCALE

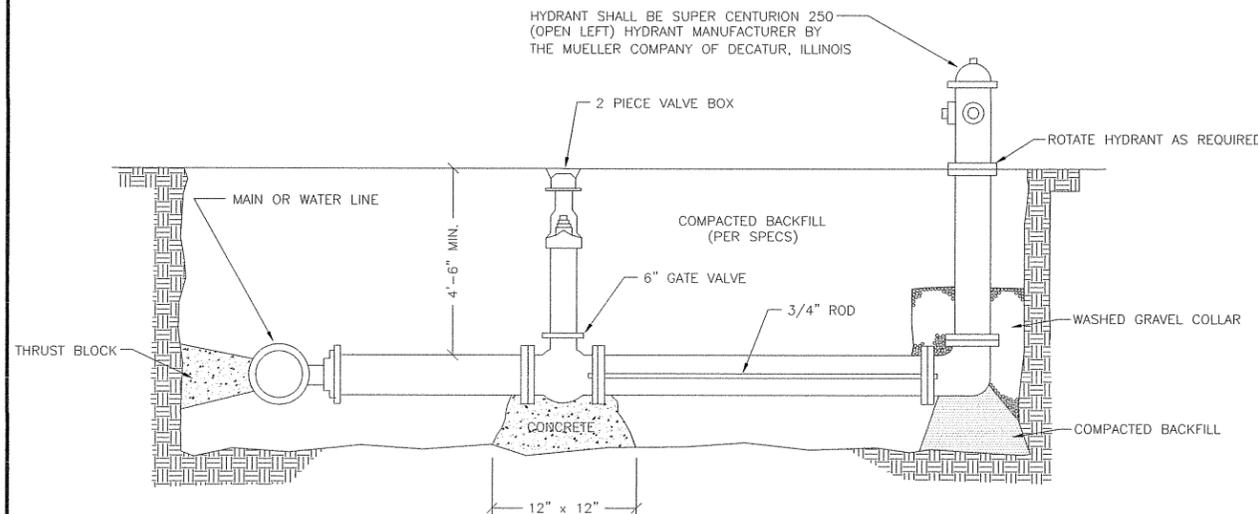


THRUST BLOCK DETAIL
NOT TO SCALE

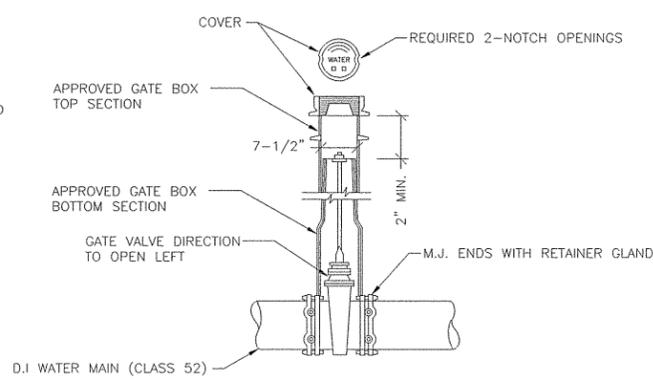


TYPICAL WATER MAIN TRENCH DETAIL
NOT TO SCALE

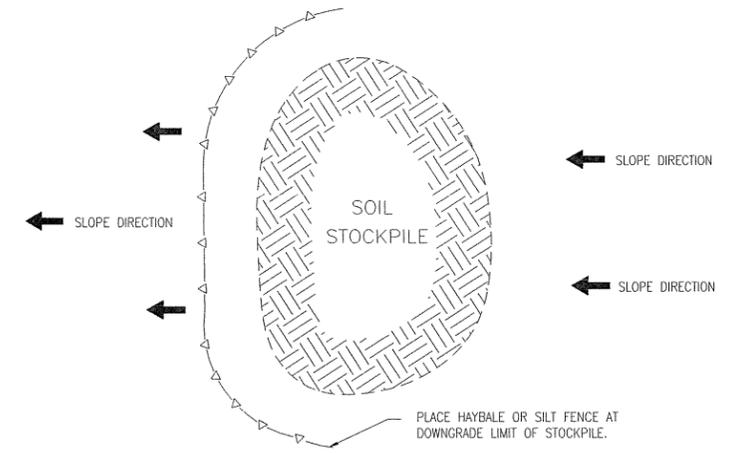
1. ALL WATER LINE MATERIALS SHALL BE PER WWW SPECS
2. WATER MAIN TO MAINTAIN A MINIMUM 10 FEET FROM STORM DRAINAGE RECHARGE STRUCTURES UNLESS APPROVED BY WWW.
3. ALL BUILDING WATER LINE SERVICES TO BE 1" COPPER



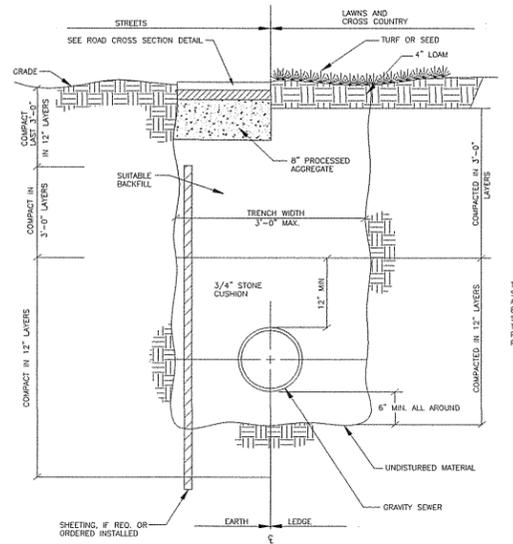
FIRE HYDRANT ASSEMBLY
NO SCALE



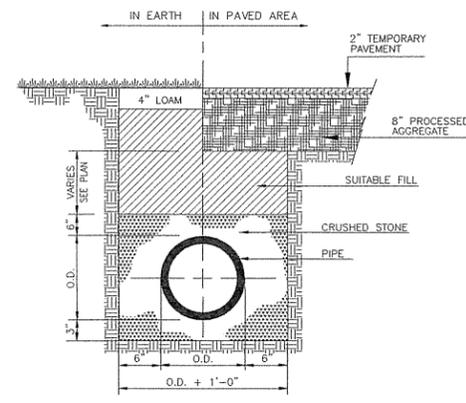
12" OR LESS VERTICAL GATE VALVE AND GATE BOX (OPEN LEFT)
NO SCALE



STOCKPILE EROSION PROTECTION DETAIL
NOT TO SCALE



TYPICAL GRAVITY SEWER TRENCH SECTION DETAIL
NOT TO SCALE



STORM SEWER TRENCH SECTION
NO SCALE

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____
APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____
APPROVED BY THE DIRECTOR OF HEALTH

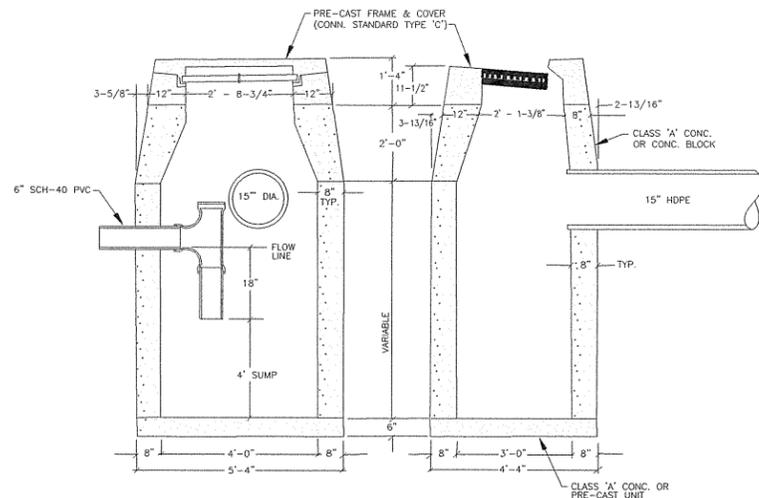
DIRECTOR _____ DATE _____
APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

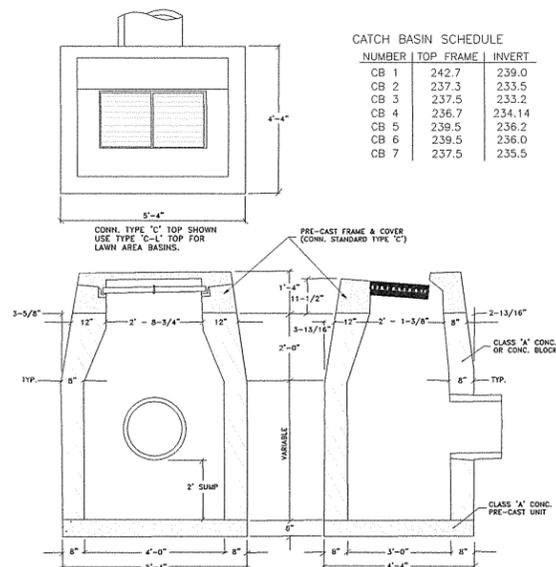
DETAIL SHEET
PREPARED FOR
UNIGLOBE INVESTMENT LLC
91 & 93 MEADOWBROOK LANE
MANSFIELD CENTER, CONNECTICUT
SCALE: AS NOTED DATE: JANUARY 8, 2016

DATUM
ENGINEERING & SURVEYING, LLC
132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1357 FAX (860)456-1840
JOB NO. 215049
CHECKED BY: _____ CORRECTIONS BY: _____

SHEET 7 OF 10



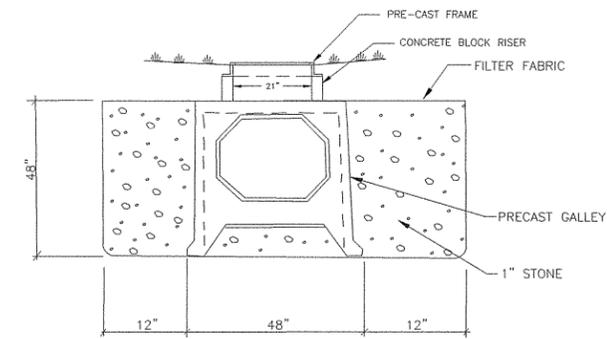
**CONN. STATE STANDARD
CATCH BASIN**
NO SCALE



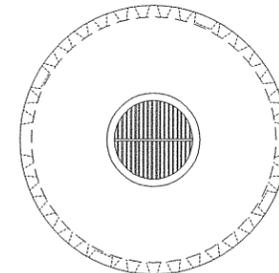
**CONN. STATE STANDARD
CATCH BASIN**
NO SCALE

CATCH BASIN SCHEDULE

NUMBER	TOP FRAME	INVERT
CB 1	242.7	239.0
CB 2	237.3	233.5
CB 3	237.5	233.2
CB 4	236.7	234.14
CB 5	239.5	236.2
CB 6	239.5	236.0
CB 7	237.5	235.5

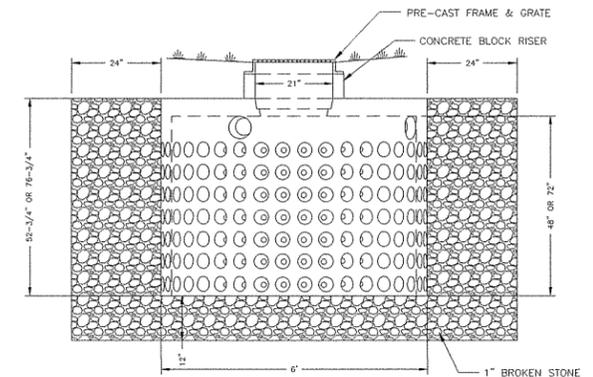


GALLERY CROSS SECTION
NO SCALE

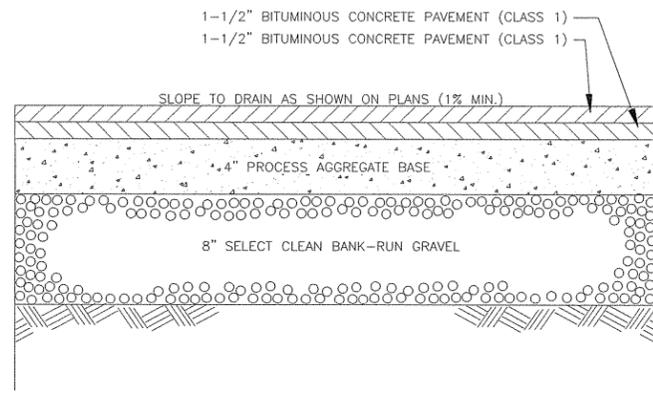


DRY WELL/YARD DRAIN SCHEDULE

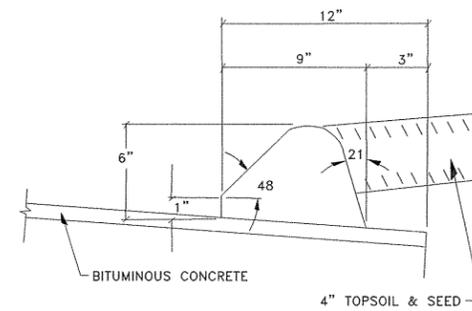
NUMBER	SIZE	TOP FRAME	BOTTOM ELEV.	INVERT
DW 1	6'Dx4'H	242.8	237.6	—
DW 2	6'Dx4'H	242.1	236.9	—
DW 3	6'Dx6'H	242.8	235.4	—
DW 4	6'Dx4'H	242.1	236.9	—
DW 5	6'Dx4'H	246.0	240.8	—
DW 6	6'Dx4'H	244.8	239.6	—
DW 7	6'Dx4'H	244.0	238.8	—
DW 8	6'Dx4'H	242.8	237.6	—
DW 9	6'Dx6'H	239.0	230.1	235.64
DW 10	6'Dx6'H	239.0	231.6	237.14
DW 11	6'Dx6'H	239.5	231.6	237.14
DW 12	6'Dx6'H	240.0	231.1	236.64
DW 13	6'Dx6'H	240.0	231.1	236.64
DW 14	6'Dx6'H	240.5	230.1	235.64
DW 15	6'Dx4'H	242.3	237.1	—
DW 16	6'Dx4'H	241.8	236.4	—
DW 17	6'Dx4'H	242.0	236.8	—
DW 18	6'Dx4'H	247.3	242.1	—
YD 1	6'Dx6'H	237.8	230.4	236.20
YD 2	6'Dx6'H	242.5	235.1	238.86



PRECAST DRYWELL/YARD DRAIN
NO SCALE



PAVEMENT DETAIL
NOT TO SCALE

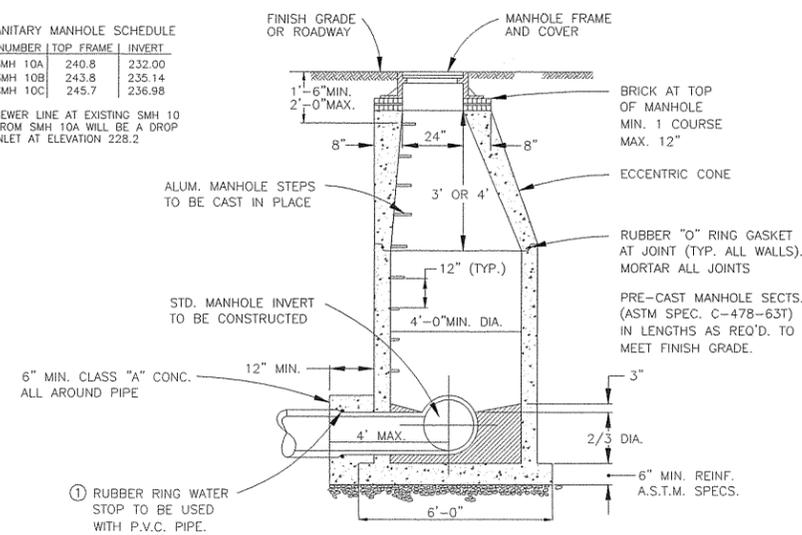


CURB DETAIL
NO SCALE

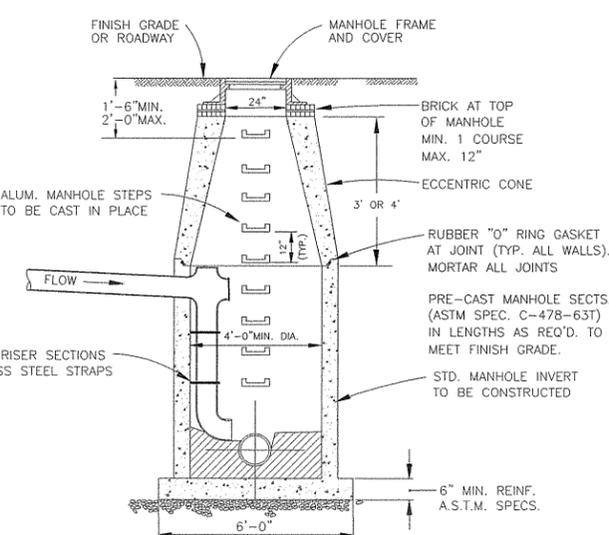
SANITARY MANHOLE SCHEDULE

NUMBER	TOP FRAME	INVERT
SMH 10A	240.8	232.00
SMH 10B	243.8	235.14
SMH 10C	245.7	236.98

SEWER LINE AT EXISTING SMH 10 FROM SMH 10A WILL BE A DROP INLET AT ELEVATION 228.2



PRECAST MANHOLE DETAIL
NOT TO SCALE



PRECAST DROP MANHOLE DETAIL
NOT TO SCALE

- MANHOLE SHALL BE WATERTIGHT. IN LIEU OF PARING, TWO COATS OF BITUMINOUS WATERPROOFING MAY BE BRUSHED ON OR SPRAYED ON. INERTOL, TREMCO OR APPROVED EQUAL MAY BE USED TO OBTAIN DESIRED RESULTS. DO NOT BACKFILL UNTIL LAST COAT IS DRY.

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

DETAIL SHEET
PREPARED FOR
UNIGLOBE INVESTMENT LLC

91 & 93 MEADOWBROOK LANE
MANSFIELD CENTER, CONNECTICUT
SCALE: AS NOTED DATE: JANUARY 8, 2016

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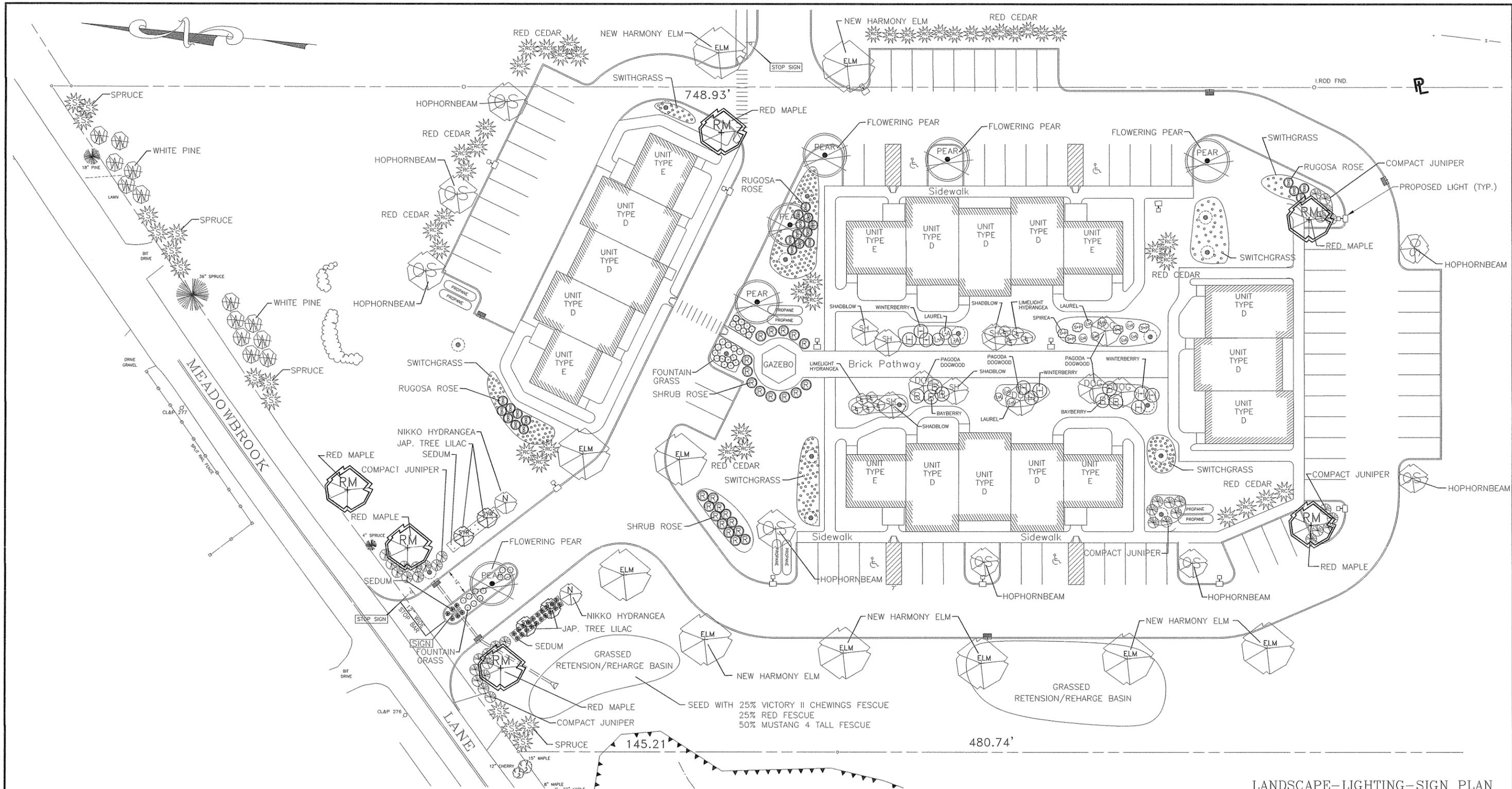
ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1357 FAX (860)456-1840

SHEET 8 OF 10

JOB NO. 215049

CHECKED BY: _____ CORRECTIONS BY: _____



LANDSCAPE-LIGHTING-SIGN PLAN
 PREPARED FOR
ARTISAN DEVELOPMENT, LLC

91 & 93 MEADOWBROOK LANE
 MANSFIELD CENTER, CONNECTICUT
 SCALE: 1" = 20' DATE: OCTOBER 12, 2015

SHEET 9 OF 10

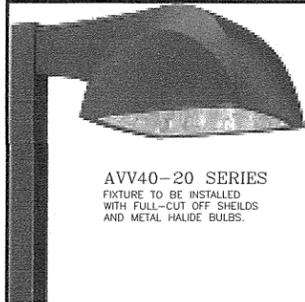
DATUM
 ENGINEERING & SURVEYING, LLC
 132 CONANTVILLE ROAD
 MANSFIELD CENTER, CT 06250
 TEL (860)456-1357 FAX (860)456-1840
 JOB NO. 215049

LANDSCAPE ARCHITECT
 J. ALEXOPOULOS, LAND. ARCH.
 CT LIC. NO. 550

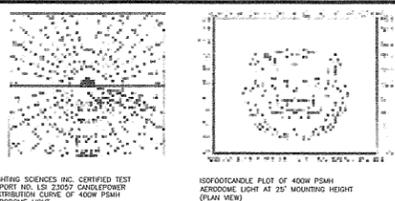


APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY
 CHAIRMAN _____ DATE _____
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 CHAIRMAN _____ DATE _____
 APPROVED BY THE DIRECTOR OF HEALTH
 DIRECTOR _____ DATE _____
 APPROVED BY THE DIRECTOR OF PUBLIC WORKS
 DIRECTOR _____ DATE _____

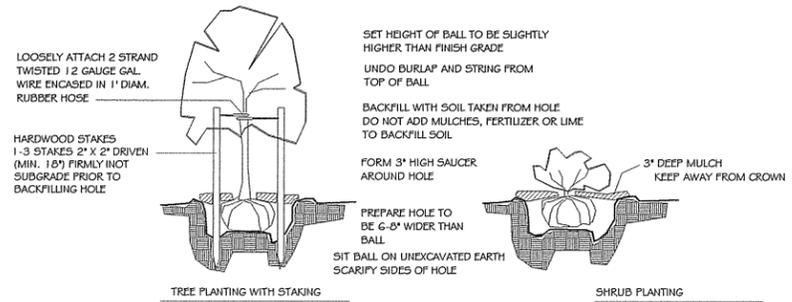
CHECKED BY: _____ CORRECTIONS BY: _____



AVV40-20 SERIES
FIXTURE TO BE INSTALLED
WITH FULL-CUT OFF SHIELDS
AND METAL HALIDE BULBS.



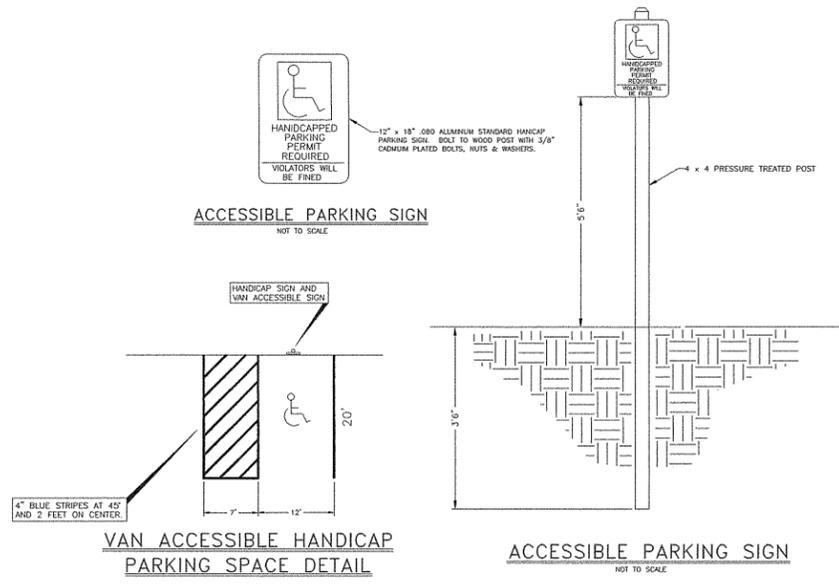
SITE LIGHTING
NOT TO SCALE



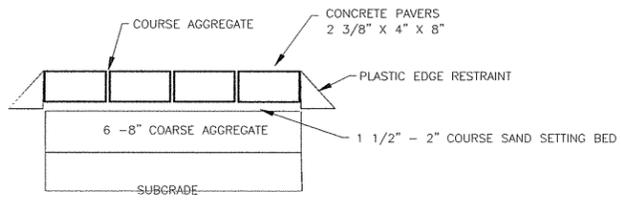
PLANTING DETAILS - NOT TO SCALE

PLANTING SCHEDULE

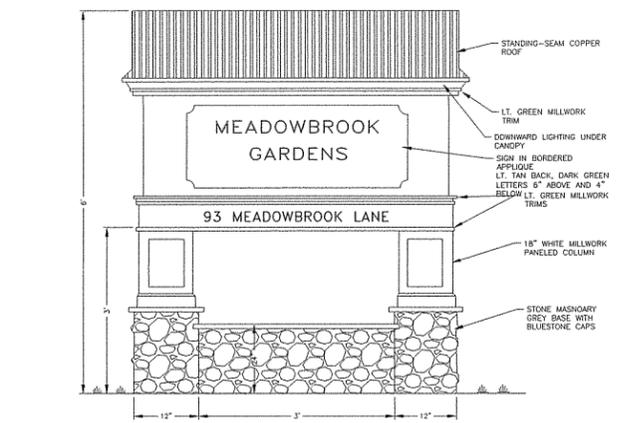
Symbol Code	Name/ Scientific Name	Size	Quantity
RM	ACER RUBRUM 'COLUMNARE'/ COLUMNAR RED MAPLE	2 1/2" - 3" CAL.	6
SH	AMELANCHIER CANADENSIS/ SHADBLOW	6 - 7'	4
DOG	CORNUS ALTERNIFOLIA/ PAGODA DOGWOOD	2 1/2" - 3" CAL.	4
DO	Ostrya virginica/ HOPHORNBEAM	2 1/2" - 3" CAL.	6
FLM	Pyrus calleryana 'CHANTICLEER'/ FLOWERING PEAR	2 1/2" - 3" CAL.	6
SYR	SYRINGA RETICULATA/ JAPANESE TREE LILAC	2 1/2" - 3" CAL.	2
EM	ULMUS AMERICANA 'NEW HARMONY'/ NEW HARMONY ELM	2 1/2" - 3" CAL.	10
RC	JUNIPERUS VIRGINIANA/ RED CEDAR	6 - 7'	42
PC	PICEA PUNGENS/ COLORADO SPRUCE	6 - 7'	16
ST	PINUS STROBUS/ WHITE PINE	6 - 7'	13
HN	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'/BIGLEAF HYDRANGEA	18 - 21'	2
HL	HYDRANGEA PANICULATA 'LIMELIGHT'/LIMELIGHT HYDRANGEA	18 - 21'	9
H	ILEX VERTICILLATA/ WINTERBERRY	18 - 21'	9
J	JUNIPERUS CHIN. PFITZ. COMPACTUM/ COMPACT PFITZER JUNIPER	18 - 21'	37
L+A	KALMIA LATIFOLIA/ LAUREL	18 - 21'	11
B	MYRICA PENNSYLVANICUM/ BAYBERRY	18 - 21'	7
R	ROSA 'KNOCKOUT'/ KNOCKOUT SHRUB ROSE	18 - 21'	25
R+B	ROSA RUGOSA/ RUGOSA ROSE	18 - 21'	23
S+P	SPIRAEA BUMALDA 'ANTHONY WATERER'/ SPIRAEA	18 - 21'	4
G	Pennisetum alopecuroides/ FOUNTAIN GRASS	2 GAL.	32
G	SEDUM 'BRILLIANT'/ SEDUM	1 GAL.	26
P	Panicum 'RUBY RIBBONS/ SWITCHGRASS	PLUGS	255



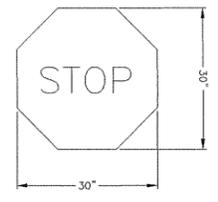
VAN ACCESSIBLE HANDICAP
PARKING SPACE DETAIL



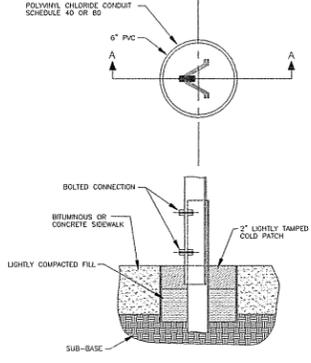
BRICK WALKWAY DETAIL
NOT TO SCALE



IDENTITY SIGN DETAIL
NO SCALE



STOP SIGN DETAIL
NOT TO SCALE



SECTION A-A
SIGN POST DETAIL
NO SCALE

LANDSCAPE-LIGHTING-SIGN DETAILS
PREPARED FOR
ARTISAN DEVELOPMENT, LLC

91 & 93 MEADOWBROOK LANE
MANSFIELD CENTER, CONNECTICUT
SCALE: AS NOTED DATE: JANUARY 8, 2016

SHEET 10 OF 10

DATUM
ENGINEERING & SURVEYING, LLC
132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1357 FAX (860)456-1840
JOB NO. 215049

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY
CHAIRMAN _____ DATE _____
APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION
CHAIRMAN _____ DATE _____
APPROVED BY THE DIRECTOR OF HEALTH
DIRECTOR _____ DATE _____
APPROVED BY THE DIRECTOR OF PUBLIC WORKS
DIRECTOR _____ DATE _____

LANDSCAPE ARCHITECT
J. ALEXOPOULOS, LAND. ARCH.
CT LIC. NO. 550

CHECKED BY: _____ CORRECTIONS BY: _____

August 14, 2015

Draft 3

Mr. Jack Yang
Artesan Development, LLC

Via: E-mail jyang628@gmail.com

**RE: Meadowbrook Gardens
Meadowbrook Lane
Mansfield, CT
Traffic Impact Report
Our File: 15131**

Dear Mr. Yang:

This report documents the findings of a traffic impact study for a proposed expansion of the existing Meadowbrook Gardens apartment complex located on Meadowbrook Lane in the Town of Mansfield, Connecticut. Meadowbrook Gardens is located on the south side of Meadowbrook Lane, west of Pollack Road and east of Circle Drive. The site location is presented in Figure 1.

The purpose of this study is to estimate the amount of traffic that will be generated by the proposed expansion and to determine its impact on the adjacent roadway network. It is anticipated that this report will accompany an application to the Town of Mansfield for site plan approval.

Proposed Development

The existing Meadowbrook Gardens development is approved for a total of 50 apartment units. A total of 102 parking spaces are provided on site. The site has access to Meadowbrook Lane by way of a single driveway. The driveway provides a single entering and exiting lane, separated by a raised landscaped median. The driveway approach operates under stop sign control.

The current proposal is for an expansion of up to 40 new apartment units on property adjacent to, and west of the existing site. Access to the new units will be by way of a new driveway to Meadowbrook Lane. An internal access will be provided to the existing development as well. The proposed driveway will provide a single entering and exiting lane separated by a raised landscaped median. The driveway approach will operate under stop sign control. Upon approval and completion of construction the combined

developments will consist of a total of up to 90 apartment units with a total floor are of 82,000 s.f. A total of 185 parking spaces will be provided.

Description of Area

Meadowbrook Lane is a town maintained roadway that originates at an un-signalized intersection with Mansfield City Road approximately 1,000 feet west of the subject site. Meadowbrook Lane extends in an easterly direction to an all stop sign controlled intersection with Circle Drive, then past the subject site to an intersection with Pollack Road and Adeline Place. Meadowbrook Lane continues easterly to its terminus at Conantville Road. The roadway continues as Conantville Road to its terminus at Route 195, Storrs Road. Meadowbrook Lane provides approximately 18 to 22 feet of pavement with a single travel lane in each direction of travel, separated by a painted double yellow centerline. Speed bumps are located along the length of the roadway. The roadway is posted at 25 miles per hour. Land use along the roadway is residential.

Pollack Road originates at an un-signalized intersection with Meadowbrook lane and Adeline Place and extends in a southwesterly direction a distance of approximately 750 feet to its terminus at Conantville Road. The intersection of Pollack Road with Meadowbrook Lane operates with stop sign control on the side street approaches.

Conantville Road originates at an un-signalized intersection with S.R. 632 (North Frontage Road) and the westbound off ramp from Route 6. Conantville Road extends in a northerly direction past the intersection with Pollack Road to its intersection with Meadowbrook Road. Conantville Road continues in a northeasterly direction to its terminus at Route 195.

Background Traffic Data

The Connecticut Department of Transportation maintains a continuous count program of traffic volumes on the Connecticut state highway system and some local roadways. Included in the state's database are counts on Conantville Road, west of Route 195, conducted during October 2014, and one on Conantville Road, north of Pollack Road conducted during October 2011. The count west of Route 195 indicates that Conantville Road carries an average daily traffic volume (ADT) of 800 vehicles with a morning peak hour volume of 73 vehicles (8:00 a.m.) and an afternoon peak hour volume of 83 vehicles (4:00 p.m.). The count north of Pollock Road indicates an ADT of 550 vehicles, with a morning peak hour volume of 52 vehicles (8:00 a.m.) and an afternoon peak hour volume of 63 vehicles (3:00 p.m.). The ConnDOT count data are presented in Tables 1 and 2.

In order to verify and update the ConnDOT counts, our office arranged for the installation of an automated traffic volume counter on Meadowbrook Lane, immediately west of the existing Meadowbrook Gardens Driveway, from June 25, 2015 through July

1, 2015. The count indicates a weekday average volume of 450 vehicles, with a morning peak hour volume of 29 vehicles (9:00 a.m.) and a p.m. peak hour volume of 45 vehicles (4:00 p.m.). The count is presented in Table 3.

In addition to the automated counts described above, movement turning movement counts were conducted during the morning and afternoon commuter peak periods at the intersections of Meadowbrook Road with Pollack Road / Adeline Place and at Route 195 with Conantville Road. Copies of these counts are provided in the appendix. The observed traffic volumes for the a.m. and p.m. peak hours are presented in Figure 2.

A review of the files of the Town of Mansfield and the Office of the State Traffic Administration (OSTA) did not reveal any traffic impact reports that need to be considered as part of the background traffic for this proposal.

A 2% per year growth rate to a design year of 2017, or a total increase of 4%, was applied to the volumes in Figure 2. The resultant volumes are the 2017 background traffic volume. These volumes are presented in Figure 3.

Site Generated Traffic and Traffic Assignment

The proposed development is to consist of a total of up to 40 new apartment units. The combined development will consist of a total of up to 90 apartment units. The trip generation for the development was calculated utilizing the ITE *Trip Generation* report. Included in the ITE Trip generation is land use 220 – Apartments. Applying the ITE equations to the existing 50 units and the 90 unit developments yields the following trip generations. The existing 50 units have a trip generation potential of 427 trips on a daily basis, with an a.m. peak hour of 28 trip made up of 6 entering trips and 22 exiting trips and a p.m. peak hour of 45 trips made up of 29 entering trip and 16 exiting trips. The combined 90 unit development has a trip generation potential of 669 trips on a daily basis, with an a.m. peak hour of 48 trips made up of 10 entering trips and 38 exiting trips and a p.m. peak hour of 67 trips made up of 44 entering trips and 23 exiting trips. By subtracting the trip generation of the 90 units from the existing 50 units, the trip generation for the proposed 40 units can be determined. Based on this methodology the proposed expansion can be expected to generate a total of 242 trips on a daily basis, with an a.m. peak hour of 20 trips made up of 4 entering trips and 16 exiting trips and a p.m. peak hour of 22 trips made up of 15 entering trip and 7 exiting trips. A summary of the trip generation results are presented as Table 4.

The existing development is currently under construction and not yet fully occupied. To be conservative in our analysis we have assumed that the traffic from all 90 units is new traffic. In addition, we have assumed a directional distribution consistent with the original Traffic Engineering Solutions report. That distribution has 67% of the site traffic oriented to and from the west and 33% to and from the east on Meadowbrook Lane.

This distribution overestimates the site generated traffic by 34% but accounts for any variation in distribution.

Figure 4 presents the trip distribution used in this report. Figure 5 presents the site generated traffic based on the combined development traffic from Table 4 and the distribution in Figure 4. By adding the site generated traffic in Figure 5 to the background traffic volumes in Figure 3, the combined traffic volumes upon completion of the development can be determined. These volumes are presented in Figure 6.

Capacity Analysis and Traffic Impact

Capacity analyses were completed for the background and combined traffic volumes at the following intersections:

- Route 195 at Conantville Road
- Meadowbrook Lane at Pollack Road and Adeline Place
- Meadowbrook Lane and the Meadowbrook Garden Driveway

The analyses were completed to determine the operational condition of the intersections before and after the introduction of site traffic, thereby determining the impact of site traffic on the intersection. The methodology employed is found in the Highway Capacity Manual (HCM), published by the Transportation Research Board. This methodology results in an intersection rating in terms of "Level of Service" (LOS), which defines the amount of delay expected at the intersection. The Levels of service results are presented in Table 5. A brief description of each intersection is presented here.

Route 195 at Conantville Road – This is an existing un-signalized "T" intersection with Route 195 (Storrs Road) oriented in the north/south direction. Conantville Road approaches from the west. The northbound and southbound Route 195 approaches each provide a single lane approach and operate free of control. The Conantville Road approach provides a single lane and operates under stop sign control. An analysis indicates that the northbound and southbound Route 195 approaches operate at a LOS A during peak hours under the background traffic volume conditions. The Conantville Road approach operates at a LOS B during the morning peak hour and at a LOS C during the p.m. peak hour under the background conditions. With the introduction of the site generated traffic the Route 195 approaches will continue to operate at a LOS A. The Conantville Road approach will operate at a LOS C during the a.m. peak hour and at a LOS D during the p.m. peak hour. The increase in average vehicular delay is approximately 1 second during the morning peak hour and approximately 3 seconds during the p.m. peak hour.

Meadowbrook Lane at Pollack Road / Adeline Place - This is an existing four way un-signalized intersection. Meadowbrook Lane is oriented in the east/west direction. Meadowbrook lane provides a single lane on each approach and operates free of

control. Pollack Road approaches from the south, provides a single lane approach and operates under stop sign control. Adeline lane approaches from the north, provides a single lane approach and operates under stop sign control. An analysis indicates that all approaches will operate at a LOS A during peak hours under the background and combined traffic volume conditions.

Meadowbrook Lane at Meadowbrook Gardens Driveway – There is one existing and one proposed site driveway. For purposes of this analysis we have assumed a single driveway. Meadowbrook Lane lies in an east/west orientation. Meadowbrook lane provides a single lane on each approach and operates free of control. The Meadowbrook Gardens Driveway approaches from the south and provides a single lane approach and operates under stop sign control. An analysis of the intersection indicates that all movements will operate at a LOS A during peak hours under the combined traffic volume conditions.

Site Access

The existing development has access to Meadowbrook Lane by a single un-signalized driveway. The driveway provides 24 feet of pavement with a single 12 foot lane for both entering and exiting traffic separated by a raised landscaped median. The driveway operates under stop sign control.

The proposed site driveway will also be to Meadowbrook Lane, located approximately 350 feet west of the existing site driveway. The proposed driveway will provide 24 feet of pavement with a single 12 foot lane for both entering and exiting traffic separated by a raised landscaped median. The driveway operates under stop sign control.

The available sight distances at the two site driveways are in excess of 500 feet in each direction. The 500 foot sight distance meets the current ConnDOT criteria for an approach speed of 45 miles per hour. Meadowbrook Road is posted at 25 miles per hour. An 85% speed of 35 mph was recorded by the Town of Mansfield during August 2007.

The driveway has been designed to accommodate an SU-30 design vehicle and will be capable of providing access to emergency vehicles.

Conclusion

The current proposal is for an expansion of up to 40 new apartment units to the existing 50 apartment unit complex known as Meadowbrook Gardens. The proposed development is projected to generate an additional 20 trips during the morning peak hour and an additional 22 trips during the p.m. peak hour. Based on this analysis, it is our professional opinion that the existing roadway network has sufficient excess

Mr. Jack Yang
August 14, 2015
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capacity and will be capable of accommodating the increase in traffic volumes associated with this proposed expansion with little or no change in the operating condition of the roadway network. The site driveway is properly designed to accommodate the anticipated driveway volumes and it will operate at acceptable levels of service. The available sight distances from the proposed site driveway meet current ConnDOT requirements for the 85% speed.

We appreciate the opportunity to provide this analysis to you. A representative from our firm will be available to present testimony in support of your application at a hearing upon your request. Please notify me of the proposed hearing schedule as soon as is practicable. If you require any additional information, please do not hesitate to contact us.

Very truly yours,
F. A. HESKETH & ASSOCIATES, INC.

Scott F. Hesketh, P.E.
Manager of Transportation Engineering

cc:

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DESIGN STATEMENT
DRAINAGE CALCULATIONS
&
HYDRAULIC ANALYSIS

UNIGLOBE INVESTMENTS, LLC

91 & 93 MEADOWBROOK LANE
MANSFIELD CONNECTICUT

Civil Engineering Services, LLC
203 Boston Hill Road
Andover CT 06232

February 5, 2016

UNIGLOBE INVESTMENTS, LLC

91 & 93 MEADOWBROOK LANE
MANSFIELD CONNECTICUT

OVERVIEW & SITE LOCATION

The project proposed entails the development of a modest residential development on a 4.6 acre parcel on the south side of Meadowbrook Lane in Mansfield, Connecticut adjacent the previously approved Whispering Glen development. The proposed development will consist of four new buildings, three of which will contain five units each of housing, one which will contain three units. The units will be a mixture of one-bedroom units and two-bedroom units with a total of 60 bedrooms in the development.

Access to the development will be by way of a 95' long boulevard from Meadowbrook Lane, and an additional access road from the Whispering Glenn development.

The parcel on which this development is proposed is currently in an (R-20) Residential 20 Zone. This application will include a request for a zone change to a Planned Residential Zone.

GEOGRAPHY

The subject site is located on a relatively flat sandy area, with a gentle 4-5% slope from east to west and which also drains to the south through an existing well-defined gulley along the eastern property line. The far west and south side of the site is bound by an unnamed brook which empties into the Conantville Brook about 250' east of the subject parcel. The Conantville Brook in turn empties into Sawmill Brook just south of the Eastbrook Mall, and Sawmill Brook continues on to the south and meets the Natchaug River at the north end of Phillip Lauter Park in Willimantic.

According to the Natural Resources Conservation Service Web Soil Survey, the soils on the site are primarily Gloucester gravelly sandy loam on steep slopes, and Canton and Charleton soils on 3 to 8% slopes, which are typified as well-drained, sandy and gravelly sandy loams, with moderately high to high transmissivity, and greater than 80 inches to restrictive features. These soils belong to Hydrologic Soil Group B.

EXISTING CONDITIONS / PROPOSED CONDITIONS

Most of the property to be affected by the proposed development has been previously cleared and is relatively open sandy ground. There currently exists on the parcel a wood-framed residential building, a mobile home and a number of out buildings. The proposed plan calls for an eighteen-unit development with a total of 60 bedrooms, and paved parking for 77 vehicles. Obviously, the amount of impervious coverage on the site will increase dramatically.

The stormwater management plan that we have designed will mitigate the effects of that change by utilizing the hydrologic qualities of the underlying soils in conjunction with a network of drywells and catch basins to absorb what would typically be a significant increase in stormwater run-off from the site. By breaking up the drainage areas into small enough segments, and routing the stormwater into drywells that provide both storage volume and surface interface area with surrounding soils, we are able to provide a system capable of handling any storm event up to a 50-year storm without allowing any run-off from the developed portion of the site.

In the event that the stormwater system fails to contain a storm event, and there is run-off from the site, that run-off will be routed to one of two stabilized areas: one at the northwest corner of the project near the entrance road, and one at the southeast corner of the project where stormwater run-off from the site currently discharges to the existing stream.

DRAINAGE

As this is a residential development, the Mansfield Public Works Standards require that we design the driveway, roadway and general drainage system to meet requirements for a 10-year storm intensity. We have met those requirements and beyond.

Driveway area drainage consists of seven catch basins only, and five of those catch basins are in sag locations. Peak discharge of run-off from the drainage areas contributing to the catch basins was determined using both Rational and the SCS hydrograph methods of determination. The Rational Method was used initially because the peak discharge from that method is typically a bit more conservative (greater peak) than the SCS Method. The results of the Rational Method calculations were used to examine how much stormwater bypass we could expect from the two catch basins not in a sag configuration, and to determine the maximum expected peak flows to the catch basins in located in sags. In all instances we determined that the basins would perform satisfactorily for 10 and 25-year storm events. Drainage calculations are contained in Appendix A.

In the event that flows were to exceed those anticipated, overflow from the proposed drainage system would run to areas adjacent to established streams or channels and any negative impact would be minimized.

HYDROLOGY

The point of interest in our comparison of present conditions to post-development stormwater conditions is the point on the southeast corner of the property where the un-named brook leaves the site. Since the brook is the receptor for all existing stormwater run-off from the site, and will remain the receptor under improved conditions, it is a logical point at which to measure the impact of the development on the site.

The stormwater management plan for the proposed design utilizes a series of drywells and lawn drains in small defined areas to capture roof run-off and stormwater and introduce it to the ground in small segments rather than gathering it in a large detention or retention area. In fact, we feel the design before the Commission will result in a significant decrease in stormwater run-off from the site and will help recharge the groundwater that eventually feeds the un-named brook.

We used the Hydraflow Hydrographs Extension for AutoCAD program to model existing conditions and proposed storm sewers and to analyze the capacity of the system for the 2-year, 10-year, 25-year, and 50-year storm events. Models were constructed utilizing SCS run-off hydrographs to generate stormwater volumes, and drywells were modeled as small ponds with a specified exfiltration rate.

The following assumptions and parameters were used as input data in our Hydraflow model of existing conditions:

A curve number (CN) of 61 was used for open space, lawns and parks (existing conditions) in hydrologic soil group B; CN of 98 was used for impervious areas (only 0.10 acre under existing conditions); existing time of concentration was calculated to be 29.9 minutes based in large part on an overland flow distance of 150 feet on slopes of 4.7%, and a manning's coefficient of 0.40 (lawn area), and a time in brook of about 8 minutes.

As mentioned above, the proposed stormwater design is based on the theory that we can capture all the stormwater from impervious areas and introduce it to a very permeable subsoil for groundwater recharge. That being the case, the stormwater run-off expected from the site under the proposed conditions would be constrained to run-off from those areas outside of the area "captured" by curbing and the proposed recharge system.

For the proposed conditions model we used a CN of 65 with the assumption that the area that would still be contributing to off-site run-off would generally be on the steeper slopes surrounding the development. We also reduced the time of concentration for proposed conditions to 15 minutes realizing that the run-off from the most remote areas

of the site would be intercepted on site. A comparison of the calculated run-off from the site under existing conditions and proposed conditions follows:

STORM EVENT	EXISTING COND.	DEVELOPED COND.
2-YR	1.3 cfs	1.1 cfs
10-YR	4.5 cfs	3.2 cfs
25-YR	6.2 cfs	4.3 cfs
50-YR	8.0 cfs	5.5 cfs

Before starting our hydrographic model of the site, we conducted soil testing on the site. We excavated four large pits on the site, physically examined the soils, and had Materials Testing, Inc. (MTI), take in-situ samples of the material to conduct permeability testing on the material. We found the majority of the material to be med to coarse sand, and sand and gravel, with one exception being in the lower, southern end of test pit #2 where the material was much finer, siltier. The test results from MTI indicated a permeability rate of 10.5 ft./day for the sample taken from the bottom test hole #2 (which we feel was not a particularly representative sample of the site as a whole), and ranged from 68.7 ft./day to 106.2 ft./day in the other three pits, and an overall average of the test results was about 65 ft./day. A copy of the MTI test data is included in Appendix B.

In modeling the proposed run-off capture and disposal plan for the on-site drainage, we modeled a yard drain (with integral 6'x6' drywell) as a pond with an incremental storage volume and an incremental rate of discharge related to depth of water in the well. Our calculations show that the storage volume of a 6'x6' drywell with 2' of stone around it will provide about 290 cubic feet of storage over the 6 foot depth, and in increments of 48.4 cubic feet per foot elevation. We then calculated the wetted surface area provided at the interface with the stone and, based on an assumed exfiltration rate of 60 feet per day, determined an initial exfiltration rate of about 0.10 cfs for one foot of depth, with an incremental increase of about 0.02 cfs per foot depth. We ran more than 30 hydrographs to determine the appropriate size areas of capture and to ensure some factor of safety.

Because there are so many small drainage areas, and variations in the percentages of impervious surfaces associated with the areas, we have simplified the smaller areas by treating the areas as if they were entirely impermeable surfaces. In doing so, we have found that a 6'x6' drywell (with 2' of stone) will accommodate approximately 3300 sf having a run-off coefficient of CN=98. If we change our permeability factor to 30 ft./day, we can still accommodate a 10-year storm event, but slightly overtops in a 25-year event. Only two drainage areas feeding drywells are greater than 3300 sf, and those areas (DW#12 and DW#13) are connected by a level perforated pipe to two other drywells (DW9 and DW#14) so that the average area for each of the drywells is less than 3300 sf.

Drywell volume calculations and a typical hydrograph for an impervious area of 3300 sf are included in Appendix C.

MEADOWBROOK GARDENS

AFFORDABLE HOUSING PLAN

February 2016

Uniglobe Investment, LLC (the "Developer") submits this Affordable Housing Plan in compliance with Article Ten, Section A-6-k of the Mansfield Zoning Regulations along with its application to the Mansfield Planning & Zoning Commission ("P & Z") for the designation of Design Multiple Residence Zone ("DMR") that will add a thirty-six (36) one and two bedroom apartments to the 50 unit complex just being completed and known as Meadowbrook Gardens. This Plan supersedes the prior Affordable Housing Strategy approved in October 2012 for Meadowbrook Gardens, formerly known as Whispering Glen.

Under this Plan, twenty percent (20%) of the units in Meadowbrook Gardens will be designated as "Affordable Units" that will meet the criteria for "affordable housing" under Article Ten, Section A-6-k of the Mansfield Zoning Regulations. By law, affordable housing means housing where a household spends no more than 30% of their income on housing costs (including utilities) and with moderate incomes up to 80% of the Area Median Income as established by the United States Department of Housing and Urban Development ("HUD") for the area containing the Town of Mansfield, the Hartford-West Hartford-East Hartford, CT MSA, HUD Metro FMA Area ("AMI"). (CGS § 8-39a).

The following sets out the details of the Affordable Units as to Design, Construction, Finishing and Marketing.

I. Affordable Units

The Developer proposes to set aside eighteen (18) of the thirty-six (36) one and two bedroom apartment units as Affordable Units for all of Meadowbrook Gardens. It is expected that these units will be designated as construction proceeds and there are no substantial differences in these units from market rate units except as required to meeting the livable floor area requirements of Article Ten, Section A-6-k, which will be met.

II. Construction and Dispersion.

The 18 Affordable Units shall be built and offered at the same time as the Market Rate Units.

III. Nature of Construction of Affordable Units and Market-Rate Units.

Within Meadowbrook Gardens, Affordable Units shall be constructed in substantial conformance with the specifications set forth in the Plans submitted to and approved by the Mansfield P & Z. The Affordable Units shall be substantially comparable in standard specifications and the quality of construction to Market Rate apartments of the same type. However, consistent with Article Ten, A-6-k, the Affordable Units will not exceed the following sizes (unless larger units are approved as part of the DMR approval):

Multi-family units with one bedroom: 800 SF of Livable floor area
Multi-family units with two bedrooms: 1,200 SF of Livable floor area

Furthermore, the Affordable Units, except for size as set for the above, will appear the same as market rate units from the outside and will continue a design that is in keeping with the surrounding uses while not stifling innovative design and architecture. The following is a comparative listing of the types of finishes that may be different for the Affordable Units:

- Countertops Laminate vs. Stone
- Appliances White vs. Stainless
- Flooring Linoleum/Vinyl vs. Tile or Carpet vs. Hardwood
- Amenities No Fireplace vs. Fireplace
- Cabinets Standard vs. superior quality cabinets

IV. Entity Responsible For Administration and Compliance.

This Affordable Housing Plan will be administered by the Developer or its successors and assigns until all of the Affordable Units have been leased (or sold). The party administering this Plan is hereafter referred to as the "Administrator". The Developer may transfer or assign the role of Administrator to another entity, provided that such entity has the experience and qualifications to administer this Plan. If Meadowbrook Gardens or the portion thereof containing the Affordable Units is converted to a condominium form of ownership, the Administrator responsibility will be transferred to a homeowners association.

V. Affirmative Fair Housing Marketing Plan.

In Meadowbrook Gardens, the sale or lease of both Affordable Units and market rate units shall be publicized meeting recognized affirmative fair housing marketing programs as guidelines. The availability of units are anticipated to be advertised through the Meadowbrook Gardens Website, social media (Facebook, Craig's List, etc.), real estate websites, University Media outlets, and local realtors. The notices shall comply with the federal Fair Housing Act, 42 U.S.C. §§ 3601 et seq. and the Connecticut Fair Housing Act, C.G.S. §§ 46a-64b, 64c (together, the "Fair Housing Acts").

The Administrator will also work with local and regional employers, such as hospitals and universities to accommodate housing needs. Potential options include help with rent and mortgage subsidies, security deposits, down-payment and closing cost assistance in order to provide an incentive for employee or students to live closer to work or the University. In this case, the Administrator will also seek out programs available through the Connecticut Department of Economic And Community Development Housing for loans or grants available to eligible sponsors of affordable housing, as well as the HOMEConnecticut program, the HOME Investment Partnerships Program, the US Department of Agriculture Housing and Community Facilities Programs, the Federal Home Loan Bank and other programs that become available to support low and moderate income housing as set out in this Plan. Also explored would be housing tax credits for deed restricted housing for households earning no more than the area's median household income. The Administrator may also consult with or promote available units through the Mansfield Area Housing Authority.

VI. Lease and Purchase Eligibility.

Eligibility of families or households to purchase or lease an Affordable Unit in the Meadowbrook Gardens shall be determined by the Administrator in accordance the provisions of this Affordable Housing Plan and consistent with the Mansfield Zoning Regulations Article Ten, Section A-6-k.

VII. Application Process.

A person, family or household seeking to lease (or purchase) one of the Affordable Units ("Applicant") must complete an application to determine eligibility. The application form and process shall comply with the Fair Housing Act.

VIII. Requirement to Maintain Condition.

All owners and tenants are required to maintain their units. The owner or tenant shall not destroy, damage or impair the unit, allow the unit to deteriorate, or commit waste on the unit. When an Affordable Unit is offered for resale or re-lease, the Administrator shall cause the home to be inspected.

IX. Resale or Lease of an Affordable Unit.

An owner of an Affordable Unit at any time shall comply with the restrictions concerning the sale and rental of units as set forth in this Plan. If the owner of the complex or a unit wishes to sell or lease an Affordable Unit, the owner shall notify the Administrator in writing.

The owner of an Affordable Units or its realtor, shall inform any potential purchaser or tenant of the affordability restrictions before any purchase and sale agreement or lease is executed. The purchase and sale agreement or lease shall contain a provision to the effect that the sale or lease is contingent upon a determination by the Administrator that the potential purchaser or tenant meets the eligibility criteria set forth in this Plan. If the Administrator determines that the potential purchaser is not eligible, the purchase and sale agreement or lease shall be void, and the owner may solicit other potential purchasers or tenants. The Administrator may outsource these determinations to a qualified agency or persons.

Town of Mansfield
Affordable Housing Requirements

Pursuant to the authority provided by Section 8-2i; of the Connecticut General Statutes, a minimum of twenty (20) percent of all dwelling units in a residential development (or phase thereof) that is subject to this provision shall be designed, constructed, and marketed for occupancy by low and moderate income persons.

To address this requirement, a minimum of twenty (20) percent of the dwelling units in a residential development, or sub-phase thereof, shall not exceed the following maximum square footage per dwelling unit requirements:

- Two-family or multi-family units with one bedroom- 800 square feet of livable floor area
- Two-family or multi-family units with two bedrooms- 1,200 square feet of livable floor area
- Two-family or multi-family units with three or more bedrooms- 1,400 square feet of livable floor area
- Single-family dwelling unit with one or two bedrooms- 1,200 square feet of livable floor area
- Single-family dwelling unit with one or three or more bedrooms- 1,400 square feet of livable floor area

In addition to meeting these maximum square footage requirements, applicants shall provide specific information about the location, design and character of proposed affordable units and shall document the actions that will be taken to promote and retain occupancy by low and moderate-income persons. Applicants are encouraged to work with Mansfield's Housing Authority, the State Department of Economic and Community Development and other agencies that promote affordable housing opportunities, and incorporate deed restrictions, resale, lease, or rental contracts and/or measures to promote this affordable housing objective.



Department of Planning and Development

Date: February 11, 2016
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director
Subject: UConn South Campus Development Environmental Impact Evaluation (EIE)

Background

In March 2015, the University of Connecticut conducted a scoping process for proposed projects collectively known as the South Campus Development. At that time, the projects included:

- New 650-bed Honors Residence Hall at the corner of Gilbert Road and Mansfield Drive, including a 700 seat dining facility. The proposed building would have approximately 210,000 square feet within a five to six story building, including an eight to nine story tower element. This project will result in the removal of an 18-space parking lot*.
- A ±30,000 square foot addition to the Fine Arts Building to add production space including paint, scenery, costume and prop shops. The addition will extend north from the Nafe Katter Theatre and west from the Drama-Music Building. This project will result in the removal of 28-34 spaces* from the adjacent parking lot.
- Removal of two houses on the south side of Gilbert Road that are contributing structures to the University of Connecticut National Register District;
- Closure of Gilbert Road between Mansfield Road and Whitney Road to create a pedestrian walkway.
- Modifications to Whitney Road including removal of on-street parking.
- Closure of Coventry Road and Maple Lane to vehicular traffic with the exception of emergency vehicles which will utilize a new pedestrian way.

*Cumulatively, it is anticipated that between 83 and 94 spaces will be removed due to building locations, road closures and removal of on-street parking.

The PZC and Town Council provided comments on the proposed projects related to completion of the traffic analysis related to the master plan; completion of the NextGenCT Impact Study; need for specific actions to enhance the multi-modal transportation system both on and off-campus; concern with traffic impacts of the proposed projects on the local road network based on the proposed buildings and changes to the street network; concern with the loss of parking; need for measures to protect Mirror Lake and Roberts Brook; mitigation measures for the loss of contributing structures to the National Register District; desire to preserve a “special tree” and the need for impacts of the SCD to be considered cumulatively with impacts of other buildings under construction such as the STEM residence hall, Science and Engineering Building and Innovation Partnership Building. (See attached letter for details).

Revised South Campus Development Project

Since the original scoping, the scope of the project has been revised to only include the 30,000 square foot addition to the Fine Arts Building and removal of 9 cottages as opposed to the removal of 2 identified in the

scoping notice. These are contributing structures to the National Register District. The EIE Executive Summary notes that removal of these structures will enable future development of the Honors Residence Hall and South Campus Commons identified in the Master Plan. The summary also notes that construction of the residence hall is being “deferred at this time to further evaluate operating budget impacts, student enrollment, and the impact of private, off-campus housing developments.” As a result of the suspension of this project, the revised scope also eliminates originally contemplated closures of Gilbert Road, Coventry Road, and Maple Lane. The revised plan estimates that 81 spaces will be lost from the Fine Arts Lot as part of the proposed construction.

Public Hearing and Comment Deadline

A public hearing was held on Tuesday, February 9, 2016; no public comments were offered. Written comments are due by March 4, 2016.

Draft Comments

Staff has prepared the following draft comments for the Commission’s review based on the issues identified during the scoping process:

- **Traffic Impacts.** Due to the significant reduction in project scope, the potential for off-campus traffic impacts has also been reduced. The traffic analysis prepared as part of the EIE has been provided to Engineering staff for review and will be discussed by the Traffic Authority at their meeting on February 23rd. Any comments regarding potential off-campus traffic impacts should be included in the official comments to UConn on the EIE.
- **Campus Master Plan Traffic Analysis.** According to UConn staff, the traffic study for the campus master plan is expected to be finalized in the coming weeks. Data from that study was used to develop the traffic analysis for the subject EIE. Comments should reiterate the desire of the Town to review that study to understand the impacts of campus growth on town roads and to facilitate identification of appropriate mitigation measures.
- **Parking.** While the EIE identifies several possible mitigation measures, many of them are long-term with no specific implementation date such as the construction of a new parking garage off Bolton Road and encouraging alternative public transit and ride sharing options. While the loss of 81 spaces amounts to less than 1% of total parking available on-campus, the location of the facility on the edge of campus maximizes the potential for drivers seeking alternative parking off-campus to remain close to their destination. Additionally, these spaces support the Fine Arts Building which by its nature attracts members of the public, not just students and faculty. While these spaces are typically restricted to student and faculty use during daytime hours, those restrictions typically do not apply on evenings and weekends. The University needs to work with the Town to identify specific measures to reduce the short-term impact of the parking reduction.
- **Stormwater.** According to the EIE, the proposed project will reduce impervious cover and improve the quality of stormwater discharges to Mirror Lake. The EIE also references an ongoing Campus Drainage Master Plan update which will identify potential measures to address hydrologic issues in the Mirror Lake Drainage Area. The Town would greatly appreciate the ability to review and comment on that master plan when a draft is completed.
- **Cultural Resources.** The EIE specifies that mitigation for the removal of the 9 contributing structures to the National Register District will be addressed in an MOU with the State Historic Preservation Office. As identified in the comments provided during initial scoping, the Town encourages the University to include protection and restoration of the façade and exterior of the Major Joseph Storrs House (currently Rosebrooks House) located on Route 195 opposite Moulton Road. This is an early 18th century wooden structure located at the gateway to the University.

Restoration and preservation of this structure will enhance the planned gateway while preserving an important Town asset. The University should also include maintain the exteriors of the Cordial Storrs and Gilbert houses in a historically appropriate manner. The final letter should be copied to the SHPO to advise them of these recommendations as they negotiate the MOU.

Recommendation

If the Commission concurs with the recommended comments, the following motion would be in order:

_____ MOVES, _____ seconds to authorize the Chair to co-endorse a letter to the University of Connecticut with the Mayor regarding the South Campus Development EIE. The recommended comments contained in the February 11, 2016 memo of the Director of Planning and Development shall be used as the basis for this letter along with any additional comments identified by the Town Council and Mansfield Traffic Authority.

If the Commission identifies additional/different comments, the following motion would be in order:

_____ MOVES, _____ seconds to authorize the Chair to co-endorse a letter to the University of Connecticut with the Mayor regarding the South Campus Development EIE. The recommended comments contained in the February 11, 2016 memo of the Director of Planning and Development shall be used as the basis for this letter with the following modifications:

-
-
-

The Chair is also authorized to endorse any additional comments identified by the Town Council and Mansfield Traffic Authority.

Executive Summary

The University of Connecticut (University or UConn) proposes to undertake projects in the area of the Storrs Campus known as the South Campus. The proposed projects are referred to collectively as the South Campus Development (SCD), construction of which is planned to start in 2016. The SCD consists of the following elements (*Figure ES-1*):

- **Fine Arts Production Facility** – Construction of an approximately 30,000 GSF addition to the Fine Arts Building to add production space including paint, scene, costume, and prop shops. The proposed addition to the existing Fine Arts Building will improve and expand theater and production facilities to support programs in the School of Fine Arts, and relocate production spaces from various locations around the campus.
- **Removal of Historic Structures** – Removal of nine houses, also referred to as cottages, – seven located between Whitney and Gilbert Roads and two on the south side of Gilbert Road. These houses are contributing structures to the University of Connecticut National Register Historic District. Removal of the nine structures will enable future development of the Honors Residence Hall and Dining Facility and the South Campus Commons identified in the Campus Master Plan.

The University, as the sponsoring agency for this project, has prepared an Environmental Impact Evaluation (EIE) pursuant to the Connecticut Environmental Policy Act (CEPA) to further evaluate the potential environmental impacts of the proposed South Campus Development.



Figure ES-1. Location of South Campus Development Projects

At the time of CEPA scoping for the project, the Proposed Action included the construction of an Honors Residence Hall and Dining Facility at the corner of Gilbert Road and Mansfield Road, north-northeast of the existing South Campus Residence Halls. The residence hall design included approximately 650 beds and an integrated dining facility providing approximately 700 seats and an estimated 4,000 to 4,500 meals per day. After completing design for the Honors Residence Hall project in September 2015, the University concluded that there are uncertainties that must be evaluated prior to proceeding into the bid and construction phases on this project. The project is being deferred at this time to further evaluate operating budget impacts, student enrollment, and the impact of private, off-campus housing developments.

The University considered reasonable alternatives to the SCD projects, including the No Action alternative (i.e., “do nothing”). The alternatives evaluation for each of the SCD project elements is summarized below:

- **No Action Alternative** – The No Action alternative would fail to support the basic purpose and need for the Fine Arts Production Facility. Fine Arts production facilities would continue to be spread across various locations on campus and would not meet the need for improved and expanded theater production facilities. Under the No Action alternative, the nine vacant historic houses along Gilbert and Whitney Roads would not be required to be removed or demolished but would likely continue to deteriorate. In addition, the presence of the structures would eventually prohibit redevelopment of the South Campus area as envisioned in the Master Plan.
- **Fine Arts Production Facility** – The Depot Campus, the location adjacent to the existing Nafe Katter Theatre and Drama-Music Building, and a portion of Lot 1 were considered as possible alternatives for the Fine Arts Production Facility. The Depot Campus was not considered a long-term feasible solution due to its relatively far distance from the Fine Arts Complex and because it does not provide the contiguous, appropriately-sized space that would benefit the Fine Arts Program. The location north of the Nafe Katter Theatre and west of the Music-Drama Building would allow the Fine Arts Production Facility to be physically connected to the adjacent Fine Arts Complex and located central to the theater district on campus. Consequently, this location was selected as the preferred alternative.
- **Removal of Historic Structures** – Possible alternatives for the removal of the historic structures at #3, #4, #5, #11, #13 Gilbert Road and #421, #423, and #H27 Whitney Road are the demolition or relocation of the houses. Because all buildings are contributing structures in the University of Connecticut Historic District, mitigation developed in consultation with the State Historic Preservation Office (SHPO) would be required for either alternative. Relocation would also require significant mechanical, electrical, plumbing (MEP) and accessibility upgrades for reuse of the structures (Sasaki et al., 2015). Given the limited potential for reuse by the University, the cost associated with reuse, and the loss of National Register designation that would likely occur with relocation, this was not considered a feasible alternative that would result in less environmental effect.

Direct effects resulting from the Proposed Action include the demolition of nine historic structures in the UConn National Register Historic District to allow for future development and the loss of an estimated

81 parking spaces. The impacts on the historic district will be mitigated through measures that will be outlined in a Memorandum of Understanding with the State Historic Preservation Office, which is currently being developed jointly by UConn and SHPO. No significant impacts to parking are expected since lost parking spaces can be addressed through existing capacity elsewhere on campus. The SCD projects will have minimal direct or indirect impacts on traffic operations in and around the UConn campus.

The proposed South Campus Development projects will also result in minimal increases in energy and utility usage. Adequate capacity exists for the SCD projects' related utilities and the projects will incorporate energy-efficiency provisions consistent with the University's sustainability initiatives. Given the timing of the Connecticut Water Company interconnection, the SCD projects, along with other projects currently in or beginning construction, are not anticipated to exacerbate the existing deficiency in the University's water supply system relative to peak day demand. The removal of the cottages will result in a minor decrease in water use, and the water usage associated with the Fine Arts Production Facility is minor and also represents the consolidation of activities already utilizing the campus water supply. Potential construction-related impacts include temporary impacts to vehicle and pedestrian traffic, air quality, noise, hazardous materials and solid waste, and stormwater.

The Proposed Action will also result in a slight reduction in stormwater runoff as a result of removal of the cottages and construction of the Fine Arts addition, which is to be built over an area that is currently a paved cul-de-sac. UConn is updating the Storrs Campus Drainage Master Plan to guide development of the UConn campus from a stormwater perspective, including an updated hydrologic analysis of the Mirror Lake drainage area, which has experienced an increase in impervious area since the start of UCONN 2000 as a result of campus projects and off-site development. The updated hydrologic analysis will help guide recommendations to address increases in runoff to Mirror Lake associated with past and future campus projects, which will be documented in the updated Campus Drainage Master Plan. UConn will also coordinate with CTDEEP to develop a long-term strategy to improve the Mirror Lake drainage area.

When considered collectively with other short and long-term planned development on the campus, as envisioned by the UConn Campus Master Plan, potential for cumulative effects can be assessed by examining those resources where the Proposed Action, when considered with other past, present, and reasonably foreseeable actions of the University of Connecticut have the potential for cumulative impact to various sectors of the natural and build environment. The cumulative impact analysis focused on projects within the August 2013 – 2018 timeframe which are either recently completed, under construction, or proposed for construction in the near future. The analysis found that impacts to traffic, as measured by level of service at key intersections, are unlikely to occur as a result of the projects within the timeframe considered. Longer-term growth of the student population, beyond 2018, will likely result in the need for further investigation of the Separatist Road intersection. Parking supply is currently adequate, although an increase in campus population in the absence of traffic demand management (TDM) will result in conditions where demand exceeds available supply.

Cumulative impacts to energy were assessed in the EIE using electrical, steam, and chilled water demand as surrogates. While there is electrical supply available from Eversource, and the actual net electrical demand is likely to be less than estimated when the effects of renovation and demolition occurring during 2013-2018 are taken into account, the projected increase in overall campus electrical demand from new

construction illustrates the potential for cumulative impacts to campus energy resources and reliance upon energy sources beyond the University-owned CUP. UConn is working to offset energy increases through demand mitigation and use of renewable energy, which will also support the goal of a carbon neutral campus by 2050. Adequate steam and centralized chilled water utilities are available given the proposed expansion in chilled water at the CUP and South Chiller Plant.

Cumulative impacts relative to stormwater and drainage issues are also being addressed through the ongoing update of the Storrs Campus Drainage Master Plan and associated hydrologic analysis. Despite the anticipated reduction in impervious area and runoff resulting from the proposed SCD projects, preliminary findings of the hydrologic analysis indicate that impervious cover in the Mirror Lake drainage area has increased by more than eight acres, including off-campus development, since UCONN 2000, which has resulted in an increase in flows and volumes of runoff into Mirror Lake. UConn is evaluating potential measures to address the hydrologic issues associated with Mirror Lake and the downstream Route 195 culverts in the context of the Campus Drainage Master Plan update and other related Mirror Lake regulatory requirements (i.e., CTDEEP dam safety compliance) and campus water quality improvement initiatives.

The cumulative effects of University actions in the 2013-2018 timeframe on water supply have already been assessed through the University's Water Supply EIE and ROD (Milone & MacBroom, 2012; 2013) and revisited in the recent Master Plan. Even with no conservation efforts in place, the Master Plan assessment found that the need for additional water supply to address daily demand is not foreseen through 2030 and additional supply to address peak demand would only be required after 2025. UConn will continue to aggressively implement water conservation efforts on campus to further reduce average and peak daily water demand, which could offset the projected shortage in water supply to meet anticipated peak daily demands after 2025 under a 30% conservation scenario. These results are consistent with the findings of the Water Supply EIE and ROD, when the CWC Connection is incorporated into the estimate of available supply.

The University plans to remove nine former faculty houses that are within the University of Connecticut National Register Historic District to allow for future development projects. UConn is working with SHPO to develop a Memorandum of Understanding (MOU) that will identify mitigation measures to offset adverse impacts to historic resources. Mitigation for the cumulative impacts to historic resources associated with the removal or relocation of the nine Faculty Row houses will also be addressed through the MOU between the University and SHPO (See *Appendix C*).

The Proposed Action, as well as other projects undertaken or planned as part of UConn 2000, UConn 21st Century, and NextGenCT, all support goals of improved student opportunity and economic growth for the State of Connecticut. While the cost of attendance at UConn has risen over the past 2 decades, the University is consistent with peer institutions on many assessments of affordability and in general has improved the student experience at UConn as demonstrated by increased retention and graduation rates. The two prior initiatives have resulted in a net economic benefit to the local community and the State and NextGenCT is anticipated to produce similar cumulative economic benefits.

Anticipated impacts and proposed mitigation measures to avoid, minimize, or offset potential adverse impacts are summarized in *Table ES-1*.

Table ES-1. Summary of Impacts and Proposed Mitigation

Resource Category	Impacts	Proposed Mitigation
Traffic, Parking, and Circulation	<ul style="list-style-type: none"> • Minimal new vehicle trips with no adverse impact on traffic operations in and around the UConn campus • No impact on transit service. • Loss of an estimated 81 existing parking spaces in the South Campus area. The loss of parking will be offset in the short-term through re-distribution of parking to other lots on campus. • Potential spill-over parking impacts on adjacent Town parking lots and streets 	<ul style="list-style-type: none"> • A proposed South Campus parking garage located off of Bolton Road, as identified in the Campus Master Plan, would provide long-term mitigation for the loss of parking associated with the SCD. • Other roadway changes identified in the Master Plan to improve campus traffic circulation include connection of Bolton Road and South Eagleville Road and the extension of Whitney Road to Hillside Road. • Parking enforcement on campus to mitigate potential spill-over parking impacts. • The use of Transportation Demand Management (TDM) approaches is anticipated to reduce long-term parking demand by encouraging alternative public transit and carpooling/ridesharing options. • Combination of reassignment of parking permit spaces, availability of spaces in campus parking garages, increasing use of other transportation modes, and implementation of TDM measures mentioned above.
Air Quality	<ul style="list-style-type: none"> • No new stationary sources of emissions. • Elimination of existing stationary sources associates with the 9 cottages. 	<ul style="list-style-type: none"> • None
Noise	<ul style="list-style-type: none"> • Consistent with residential setting. 	<ul style="list-style-type: none"> • None
Water Resources	<ul style="list-style-type: none"> • Improved quality of stormwater discharges to Mirror Lake. • Reduction in impervious area and stormwater runoff to Mirror Lake. • No direct flooding impacts; project area is located outside of mapped flood hazard areas. 	<p>Stormwater management system designs will be consistent with the CTDEEP <i>Connecticut Stormwater Quality Manual</i> (as amended), the CTDEEP Construction Stormwater General Permit, and CTDEEP Flood Management Certification requirements.</p> <p>UConn is evaluating potential measures to address the hydrologic issues in the Mirror Lake drainage area in the context of the Campus Drainage Master Plan update and other related Mirror Lake regulatory requirements (i.e., CTDEEP dam safety compliance) and campus water quality improvement initiatives.</p> <p><u>Fine Arts Production Facility</u></p> <ul style="list-style-type: none"> • No detention or infiltration is proposed since the project would result in a net reduction in impervious cover and the site soils are not conducive to infiltration. • The drainage system will include deep sump catch basins and a hydrodynamic separator or

Table ES-1. Summary of Impacts and Proposed Mitigation

Resource Category	Impacts	Proposed Mitigation
		<p>similar underground water quality structure to treat runoff from the parking lot adjacent to the Fine Arts Production Facility.</p> <ul style="list-style-type: none"> • Non-structural source controls and pollution prevention measures (parking lot sweeping, catch basin cleaning, drainage system and stormwater treatment system operation and maintenance, etc.) will be implemented.
Wetlands, Watercourses, and Natural Communities	<ul style="list-style-type: none"> • No threatened/endangered species. • No wetlands. 	<ul style="list-style-type: none"> • None
Cultural Resources	<ul style="list-style-type: none"> • Removal of nine contributing structures, originally built for faculty housing, in the UConn National Register Historic District. • Asbestos containing materials (ACM) and other hazardous building materials in the historic residential structures proposed for demolition, including PCB-containing light ballasts and other regulated waste materials. • Lead-impacted soils around the historic residential structures. 	<ul style="list-style-type: none"> • Developing Memorandum of Understanding with the State Historic Preservation Office to mitigate removal of the nine Faculty Row houses that are slated for removal or relocation to allow for the development/redevelopment of the South Campus as envisioned by the Campus Master Plan. • Refer to mitigation measures for Solid Waste and Hazardous Substances relative to the management and disposal of hazardous building materials associated with the historic structures, including lead-impacted soils.
Visual and Aesthetic Character	<ul style="list-style-type: none"> • New construction will be consistent with current visual setting. • Existing cottages are no longer consistent with the scale of buildings in the South Campus area. 	<ul style="list-style-type: none"> • None
Geology, Topography, and Soils	<ul style="list-style-type: none"> • No unique features or farmland soils. • Lead-impacted soils around the historic residential structures. 	<ul style="list-style-type: none"> • If needed, development of a soil management plan to address potential fill material or other impacted soils encountered during construction. • Soil remediation may be necessary for lead-impacted soils around the historic residential structures prior to demolition.
Utilities and Services	<ul style="list-style-type: none"> • Adequate capacity exists or will be provided by the South Campus Development projects relative to electrical service, emergency power, telecommunications, steam, sanitary sewers and wastewater treatment, and natural gas. • The University will meet its overall peak water demands, including for the South Campus 	<ul style="list-style-type: none"> • Demand mitigation or increased internal electrical supply will be needed to reduce dependencies on electricity from Eversource. • The building construction will incorporate best practices of sustainability with a minimum goal of Leadership in Energy & Environmental Design (LEED) Silver. The project design will also address the guidelines and requirements of the Connecticut High Performance Building Standards, as well as strategies and recommendations promoted by the UConn

Table ES-1. Summary of Impacts and Proposed Mitigation

Resource Category	Impacts	Proposed Mitigation
	<p>Development projects, by augmenting its supply with the additional supply to be provided pursuant to an executed agreement to interconnect with the Connecticut Water Company (CWC). The CWC interconnection is planned to come online no later than by the end of 2016. The Proposed Action, along with other projects currently in or beginning construction, could marginally exacerbate the existing deficiency in the system relative to peak day demand until the CWC interconnection is available.</p> <ul style="list-style-type: none"> • Construction of the Fine Arts Production Facility and removal of the nine cottages will reduce existing impervious area. • Reduction in impervious area and stormwater runoff to Mirror Lake. 	<p>Climate Action Plan and other ongoing energy efficiency and sustainability initiatives at the Storrs campus.</p> <ul style="list-style-type: none"> • Should the South Campus Development projects be completed prior to completion of the CWC interconnection, mitigation would consist of continuing to promote water conservation throughout the system. • Stormwater management system designs will be consistent with the CTDEEP Connecticut Stormwater Quality Manual (as amended), the CTDEEP Construction Stormwater General Permit, and CTDEEP Flood Management Certification requirements (refer to the Water Resources section above for specific stormwater management design elements). • UConn is evaluating potential measures to address the hydrologic issues in the Mirror Lake drainage area in the context of the Campus Drainage Master Plan update and other related Mirror Lake regulatory requirements (i.e., CTDEEP dam safety compliance) and campus water quality improvement initiatives.
Public Health and Safety	<ul style="list-style-type: none"> • Sufficient Public Health & Safety services are in place for students, faculty, staff, and visitors. 	<ul style="list-style-type: none"> • None
Solid Waste and Hazardous Substances	<ul style="list-style-type: none"> • Solid waste generated by the proposed facility is consistent with existing waste streams on campus. • Asbestos containing materials (ACM) and other hazardous building materials in the historic residential structures proposed for demolition, including PCB-containing light ballasts and other regulated waste materials. • Lead-impacted soils around the historic residential structures. 	<ul style="list-style-type: none"> • Prior to demolition, a Connecticut-licensed asbestos abatement contractor should be retained to remove ACM that may be impacted by demolition activities. • Prior to demolition, a qualified contractor should be retained to properly remove and dispose of the identified hazardous building materials and universal wastes that may be impacted by demolition activities. • A qualified contractor should be utilized to ensure that lead based paint is properly managed and disposed of when the buildings are demolished. • Prior to the disposal of materials generated during building demolition, lead coated materials should be subject to TCLP analysis to evaluate whether the waste streams must be disposed as a lead hazardous material or as general construction debris. • Soil remediation may be necessary for lead-impacted soils around the historic residential structures prior to demolition. •

Table ES-1. Summary of Impacts and Proposed Mitigation

Resource Category	Impacts	Proposed Mitigation
Socioeconomics	<ul style="list-style-type: none"> Anticipated socioeconomic benefit at the campus, local, and state levels. 	<ul style="list-style-type: none"> None
Land Use Planning	<ul style="list-style-type: none"> Consistent with campus, local, regional, and state plans. 	<ul style="list-style-type: none"> None
Construction Period		
Traffic, Parking, and Circulation	<ul style="list-style-type: none"> Minor, temporary disruptions to traffic in the immediate area of construction. 	<ul style="list-style-type: none"> Use of construction-phase traffic management measures to maintain efficient traffic operations during the construction period including construction phasing to minimize disruptions to traffic, signage, and detours. UConn has established contractor parking restrictions which require constructor parking to be at the Depot Campus of Bergin Property (both on Route 44) during the academic year and at perimeter, on-campus lots, outside of the academic year, with the exception of 3 parking spaces allowed on campus at construction field offices. UConn has restricted construction vehicle access from the following local roads: Hillyndale Road, Eastwood Road, Westwood Road, Hillside Circle, Hunting Lodge Road, Separatist Road, and North Eagleville Road.
Air Quality	<ul style="list-style-type: none"> Construction activities may result in short-term impacts to ambient air quality due to direct emissions from construction equipment and fugitive dust emissions. 	<ul style="list-style-type: none"> Contractors will be required to comply with air pollution control requirements in UConn <i>Environmental, Health, and Safety Policies, Regulations, and Rules for Construction, Service, and Maintenance Contractors</i>, including reference to such requirements in contract documents. Ensure proper operation and maintenance of construction equipment. Limit idling of construction vehicles and equipment to three minutes. Implement traffic management measures during construction. Implement appropriate controls to prevent the generation and mobilization of dust.
Noise	<ul style="list-style-type: none"> Heavy construction equipment associated with site development may result in temporary increases in noise levels in the immediate area of construction. 	<ul style="list-style-type: none"> Contractors will be required to comply with noise control requirements in UConn <i>Environmental, Health, and Safety Policies, Regulations, and Rules for Construction, Service, and Maintenance Contractors</i>, including reference to such requirements in contract documents. Ensure proper operation and maintenance of construction equipment. Construction contractors should make every reasonable effort to limit construction noise impacts.

Table ES-1. Summary of Impacts and Proposed Mitigation

Resource Category	Impacts	Proposed Mitigation
Stormwater and Water Quality	<ul style="list-style-type: none"> Exposure of soil increases potential for erosion and sedimentation. 	<ul style="list-style-type: none"> Use of appropriate erosion and sediment controls during construction, consistent with the <i>2002 Connecticut Guidelines for Soil Erosion and Sediment Control</i> (as amended) and the August 21, 2013 <i>General Permit for Stormwater and Dewatering Wastewaters from Construction Activities</i>.
Hazardous Materials and Solid Waste	<ul style="list-style-type: none"> Temporary on-site storage and use of fuels and other materials associated with construction vehicles and equipment. Generation of solid waste including construction and demolition debris. Asbestos containing materials (ACM) and other hazardous building materials in the historic residential structures proposed for demolition, including PCB-containing light ballasts and other regulated waste materials. Lead-impacted soils around the historic residential structures. 	<ul style="list-style-type: none"> Contractors will be required to comply with requirements for construction-related hazardous materials and solid waste in UConn <i>Environmental, Health, and Safety Policies, Regulations, and Rules for Construction, Service, and Maintenance Contractors</i>, including reference to such requirements in contract documents. If needed, development of a soil management plan to address potential fill material or other impacted soils encountered during construction. Hazardous or regulated materials or subsurface contamination encountered during construction will be characterized, managed, and disposed of in accordance with the soil management plan and applicable state and federal regulations. Construction-related solid waste will be handled and disposed of in a manner that meets current regulations and University standards. Construction and demolition debris will be managed in accordance with applicable state and federal regulations and the University's contractor policies. The feasibility of material reuse/recycling will be assessed during construction. Refer to mitigation measures for Solid Waste and Hazardous Substances relative to the management and disposal of hazardous building materials associated with the historic structures, including lead-impacted soils.



Elizabeth C. Paterson, Mayor

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March 18, 2015
Mr. Paul Ferri
UConn Office of Environmental Policy
31 LeDoyt Road, U-3055
Storrs, Connecticut 06269

Subject: Proposed South Campus Development

Dear Mr. Ferri:

The Mansfield Town Council and Planning and Zoning Commission (PZC) offer the following comments and recommendations with regard to the proposed South Campus Development (SCD). It is our understanding that UConn will be preparing a full Environmental Impact Evaluation (EIE) of the proposed projects included in the SCD. The issues and concerns identified in this letter should be fully examined and addressed as part of this EIE process. As the scope of the projects to be included has changed since our December 2014 comments on the scoping for the new honors residence hall, to the extent this correspondence contains additional comments, it should be considered a supplement to the December 18, 2014 letter issued by the PZC.

- **Campus Master Plan and Next Generation Connecticut Impact Study.** In March 2014, the Town requested that the campus master plan and Next Generation Connecticut Impact Study be completed prior to the construction of any future buildings related to the NextGenCT initiative other than the STEM residence hall and engineering/science building. As part of that request, we identified the need for a comprehensive, multi-modal transportation plan for the build-out of the campus that considers impacts to the local transportation network, including off-campus improvements for vehicular, pedestrian, bike and transit circulation. While a draft master plan was completed in 2014, the traffic analysis for that master plan has not yet been completed. PZC requests that UConn inform the Town of the date that this analysis will be completed as it is critical to understanding the potential impacts of UConn's growth on both state and town roads. This analysis must be completed prior to the construction of any new buildings; ideally, the traffic study should be completed prior to the preparation of an EIE for the South Campus Development to ensure that the potential impacts of the projects on the transportation network are known and appropriate mitigation measures identified.

Similarly, the NextGenCT impact study is currently underway; a final report is expected in May 2015. The timing of the EIE should be coordinated with the completion of the traffic impact study to allow the information contained in the impact study to inform the EIE and any recommended mitigation measures.

- **Transportation System.** The EIE should address specific measures that will be completed as part of this project to enhance the multi-modal transportation system and reduce off-campus transportation impacts and how such improvements will be coordinated with the overall campus master plan. Consideration should be given to off-campus bicycle and pedestrian improvements as a way to mitigate impacts on local roads.

- **Traffic Analysis.** The EIE should evaluate the potential impacts of the proposed buildings and roadway changes on local roads, as well as the state road network. While the changes are intended to improve the on-campus pedestrian network, they may push additional traffic onto local streets, including but not limited to Hillside Circle, Eastwood Road, Westwood Road, Separatist Road, Hunting Lodge Road and North Eagleville Road. The analysis should identify any necessary mitigation measures including off-campus pedestrian and bikeway improvements and be made available to the Town for review and comment prior to submission to OSTA. Furthermore, as noted in the Commission's May 2014 comments on the STEM residence hall, the EIE should identify needed mitigation measures as well as performance measures and a framework for reporting and modifying approaches as needed.

- **Parking.** The proposed improvements will result in the loss of up to 94 parking spaces. The EIE must address several issues, including:
 - Current parking capacity and demand (number of permits as compared to number of parking spaces on campus);
 - Parking policies for on-campus residents such as restrictions based on number of credit hours;
 - Net number of new beds that are being constructed as part of this project and the STEM residence hall; and
 - Replacement of the spaces over the short and long-term as well as other strategies that will be implemented with regard to use and management of on-campus parking.

- **Stormwater/Mirror Lake and Roberts Brook.** The University should identify specific measures that will be used to reduce impacts on Mirror Lake and the Fenton River/Roberts Brook watersheds. While the project area is not within the Eagleville Brook Watershed, use of Low Impact Development practices should be a focus to prevent impacts on these water bodies.

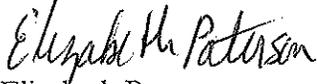
- **Cultural Resources and Visual Impact.** Given the prominent location of the proposed residence hall, design of the building should be sensitive to and complement the surrounding area. The EIE should also identify mitigation options for removal of the two structures in the University of Connecticut National Historic Register District. One mitigation measure should include working with the State Historic Preservation Office (SHPO) to protect and restore the façade and exterior of the Major Joseph Storrs House (currently "Rosebrooks House") located on Route 195 opposite Moulton Road. The Major Joseph Storrs House is an early 18th century wooden structure located where the University plans its gateway and Welcome Center. Major Storrs and his family were important to the history of Mansfield. Restoration and preservation of this structure will enhance the planned gateway while preserving an important Town asset. In addition, the University should maintain the exteriors of the Cordial Storrs and Gilbert houses, as well as any other historic structures which will remain intact, in an historically appropriate manner.

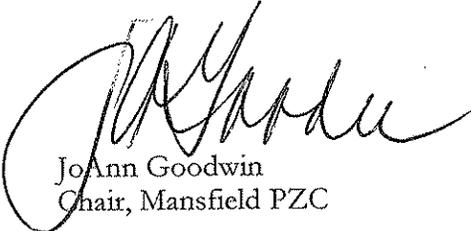
- **Trees.** The scoping presentation identified the potential loss of a "Special Tree" along Mansfield Avenue as part of the construction of the residence hall. As design of the building has not been completed, consideration should be given to preserving this tree and creating a courtyard.

- **Cumulative Impacts.** All analysis completed as part of the EIE for the South Campus Development should consider the cumulative impacts of these projects and previously approved buildings that have not yet been completed, including the STEM residence hall, Science and Engineering Building and Innovation Partnership Building, as well as other projects anticipated to be under construction during the same time period.

If you have any questions regarding these comments, please contact Linda Painter, Director of Planning and Development.

Sincerely,


Elizabeth Paterson
Mayor


JoAnn Goodwin
Chair, Mansfield PZC

Cc: Town Council
Planning and Zoning Commission



Department of Planning and Development

Date: February 11, 2016
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director
Subject: UConn Student Recreation Center Scoping

The University of Connecticut is proposing to construct a new 200,000 square foot student recreation center on the site of the Connecticut Commons residence halls on Hillside and Whitney Roads. This action would result in the loss of 435 beds; however, the new STEM residence hall will be completed by the fall of 2016. This residence hall will have 725 beds, resulting in a net increase of 290 beds even with the elimination of Connecticut Commons. UConn has identified a goal of having the student recreation center achieve a LEED Gold certification.

A site location map and conceptual site layout plan are attached to this memo for your information.

Scoping Meeting and Comment Deadline

The public scoping meeting for this project is scheduled for February 18, 2016. The scoping process provides the Town with the opportunity to identify specific issues that we would like UConn to consider as they determine whether an Environmental Impact Evaluation (EIE). Written comments must be submitted by March 3, 2016.

Potential Impacts

As the scoping presentation is not scheduled until after the Commission's meeting, there is limited information for staff to review. However, given the location of the proposed project, the fact that it is designed to serve the student population and that it entails redevelopment of an existing site, the project is not expected to have significant traffic impacts off-campus.

It should also be noted that the UConn Master Plan identified two potential sites for the student recreation center on Hillside Road, which is intended to be transformed into a "Vibrant Student Hub": Y lot (located to the rear of the South Campus Residence Halls) and the site of the current fieldhouse adjacent to Gampel Pavilion. The Connecticut Commons site was identified for redevelopment with approximately 210,000 square feet of housing (estimated at 700 beds). While the site selected is consistent with the goal of creating a vibrant student hub on Hillside Road, it will result in the loss of on-campus housing.

There will be a net increase in on-campus beds when the new STEM residence hall is completed; however, there will only be an increase of 290 beds instead of the 725 originally anticipated due to the demolition of 435 beds at Connecticut Commons. The loss of 435 beds at Connecticut Commons is also magnified by the decision to remove a proposed 650 bed Honors Residence Hall from the South Campus Development EIE.

Given recent growth at the university, continued expansion of on-campus housing was a priority addressed in the Mansfield Tomorrow POCD. Specifically, Goal 7.3, Strategy C, Action 2 states: "Continue to

encourage UConn to house an average of 70% of undergraduates in on-campus housing over each five-year period.” The UConn Master Plan included the following language as part of the executive summary: “The need for quality, affordable campus housing to accommodate current and future enrollment drives the need for housing expansion and modernization. At present, the new STEM Residence Hall in the hilltop residential quad is under construction and the new Honors Residence Hall by Mirror Lake is in the design phase. Additional sites for residence halls have been identified in the Master Plan. The size and timing of these projects will be carefully coordinated with enrollment growth and a larger strategy for rehabilitation and modernization of existing residence halls.”

The following table identifies enrollment growth over the past five years:

Academic Year	Undergrad FT	Undergrad PT	Total Undergrad	Total Grad	Total Enrollment	Students Living On Campus
Fall 2010	16,614	717	17,331	4,172	21,503	12,546
Spring 2011	16,028	801	16,829	3,907	20,736	12,121
Fall 2011	17,057	751	17,808	4,202	22,010	12,341
Spring 2012	16,452	832	17,284	3,913	21,197	12,220
Fall 2012	16,727	790	17,517	4,168	21,685	12,469
Spring 2013	16,065	927	16,992	3,941	20,933	11,625
Fall 2013	17,219	807	18,026	4,122	22,148	12,668
Spring 2014	16,698	877	17,575	3,969	21,544	12,199
Fall 2014	17,900	492	18,392	4,191	22,583	12,711
Spring 2015	16,947	803	17,750	4,139	21,889	12,089
Fall 2015	18,129	691	18,820	4,390	23,210	12,723

In summary, while full-time undergraduate enrollment has increased by 1,515 students (9%) over the last five years, the number of students living on campus has only increased by 177 students (1%). It should be noted that the number of undergraduate students housed on campus has increased by 436 students (3.5%) due to a shift away from on-campus graduate student housing. This shift has helped UConn to maintain its average of housing 70% of undergraduates on campus based on full-time undergraduate enrollment.

Draft Comments

If the Commission wishes to comment as part of the scoping process, comments could include:

- Support for LEED Gold certification and implementation of strategies recommended in the Sustainability Framework Plan adopted as part of the larger campus master plan.
- Concern regarding timing of additional housing construction should enrollment continue to grow as projected by the *NextGenCT* initiative. Comment should include references from both the UConn Master Plan and Mansfield Tomorrow and identify concerns regarding off-campus impacts.
- Support for use of Low-Impact Development and Green Infrastructure practices to improve stormwater quality and reduce impacts to the Willimantic and Fenton River watersheds.

Recommendation

If the Commission would like to comment on the scoping for the Student Recreation Center, the following motion would be in order:

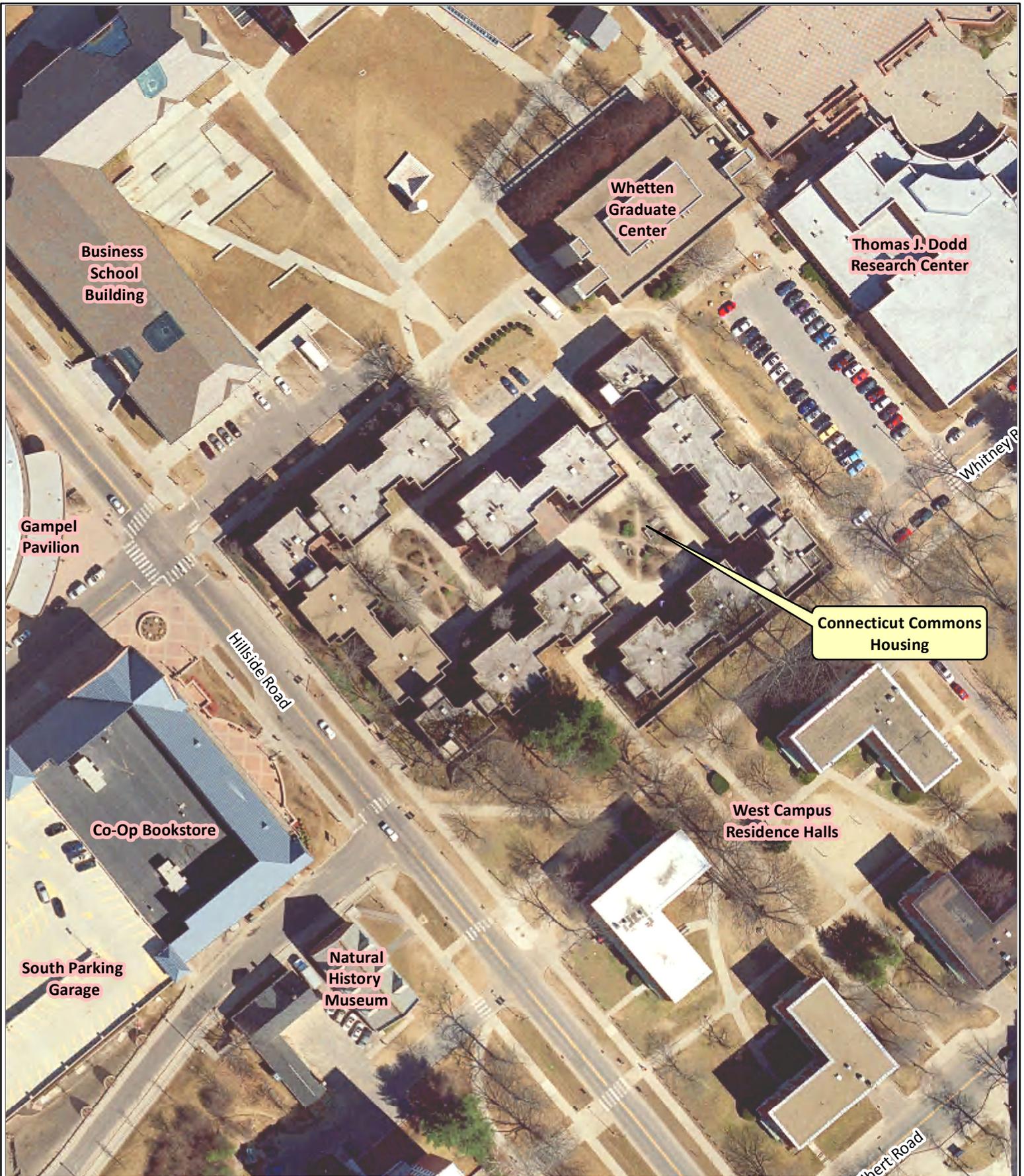
_____ MOVES, _____ seconds to authorize the Chair to co-endorse a letter to the University of Connecticut with the Mayor regarding the Student Recreation Center scoping process. The recommended comments contained in the February 11, 2016 memo of the Director of Planning and Development shall be used as the basis for this letter along with any additional comments identified by the Town Council.

If the Commission identifies additional/different comments, the following motion would be in order:

_____ MOVES, _____ seconds to authorize the Chair to co-endorse a letter to the University of Connecticut with the Mayor regarding the Student Recreation Center scoping process. The recommended comments contained in the February 11, 2016 memo of the Director of Planning and Development shall be used as the basis for this letter with the following modifications:

-
-
-

The Chair is also authorized to endorse any additional comments identified by the Town Council.



SOURCE(S):
2006 Aerial photography from UConn

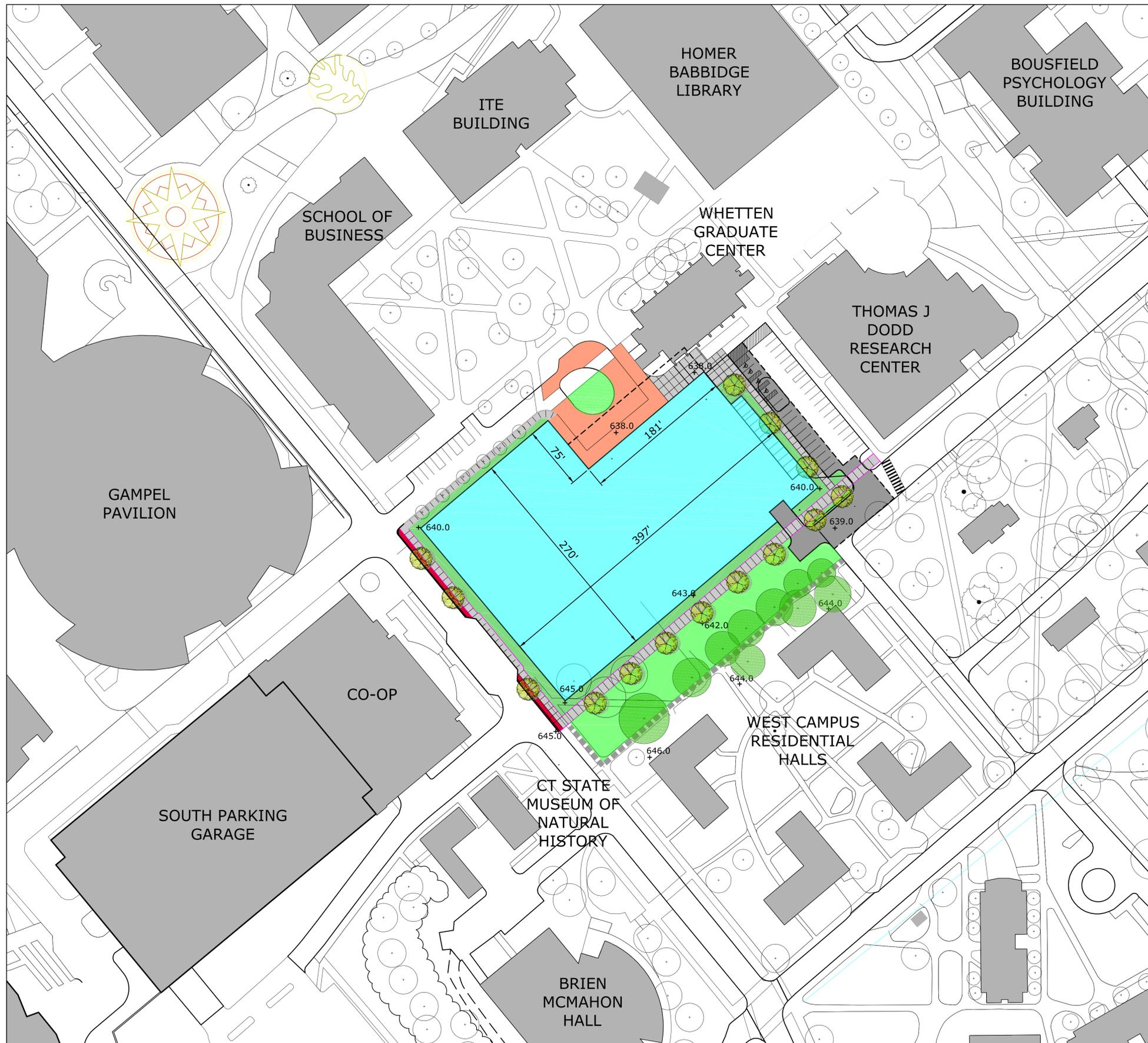
Student Recreation Center Location Plan

LOCATION:
University of Connecticut
Storrs, CT

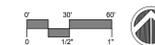

Environmental Impact Evaluation
Construction of Student Recreation Center

Map By: beckym
MMI#: 1958-103-1
Original: 12/16/2015
Revision: 1/27/2016
Scale: 1 inch = 100 feet


MILONE & MACBROOM
 99 Realty Drive Cheshire, CT 06410
 (203) 271-1773 Fax: (203) 272-9733
www.miloneandmacbroom.com



SITE LAYOUT CONCEPT
STUDENT RECREATION CENTER





Town of Mansfield

Department of Planning and Development

Date: February 11, 2016
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director of Planning and Development
Subject: Director's Report

If there are any other items or questions, I will address them at the February 16th meeting.

Housing

- *Ad Hoc Committee on Rental Housing Regulation and Enforcement.* The Ad Hoc committee held their first meeting on **February 10th at 5:30 p.m. in the Senior Center dining room.** The next meeting is scheduled for March 9, 2016 at 5:30 p.m. in the Town Council Chambers. Commission members are welcome to attend and participate in discussion.

Infrastructure and Transportation

- *Four Corners Sanitary Sewer Project.* The EIE is available on-line for review at http://www.ct.gov/deep/cwp/view.asp?a=2719&q=382742&depNav_GID=1654. A public hearing has been scheduled for **March 8th at 7:00 p.m.** in the Town Council Chambers. The public comment period closes on **March 18, 2016.** If the Commission would like to submit formal comments on the EIE, it can be placed on the March 7th agenda for discussion.
- *Bicycle and Pedestrian Master Plan.* Bike Mansfield hosted a kick-off meeting on February 4th for the creation of a bicycle and pedestrian master plan. The meeting was attended by representatives of various advisory committees as well as interested residents.
- *Ravine Road.* The gravel portion of Ravine Road has been closed since last March due to safety concerns. The Town Council is currently considering whether to repair the road and reopen it to traffic or discontinue the gravel portion of the roadway. At this time, no PZC action is needed.

Public Facilities

- The Region 19 Board of Education retained a consultant to develop options for improving the agricultural science and theater facilities at E.O. Smith High School. Three alternatives were identified, including one which would involve construction of a new, 3-story high school on the site of the parking lot along Storrs Road, demolition of the existing building and construction of a new surface parking lot to the rear of the new school. After consideration of these alternatives, the BOE directed the superintendent to contact UConn to see if the university would be interested in acquiring the school's current property and whether they had any property that could be used for construction of a new school.

**Notice of Certain
Planning and Zoning Matters
in Neighboring Municipalities**

DATE: 1/28/2016

TO: Town Clerks of: Andover, Bolton,
Columbia, Mansfield,
Tolland, Vernon, Willington
+ Windham

FROM: Planning and/or Zoning Commission Zoning Board of Appeals
 Inland Wetland Commission

Town of Coventry

Pursuant to P.A. 87-307 which requires zoning, planning, and inland wetland commissions and zoning boards of appeals to notify the clerk of any adjoining municipality of the pendency of an application, petition, request, or plan concerning any project on any site in which:

- 1) Any portion of the property affected by a decision of such board is within five hundred feet of the boundary of the adjoining municipality;
- 2) A significant portion of the traffic to the completed project on the site will use streets within the adjoining municipality to enter or exit the site;
- 3) A significant portion of the sewer or water drainage from the project on site will flow through and significantly impact the drainage or sewerage system within the adjoining municipality; or
- 4) Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.

Notice is to be made by registered mail and mailed within seven days of the date of receipt of the application, petition, request, or plan.

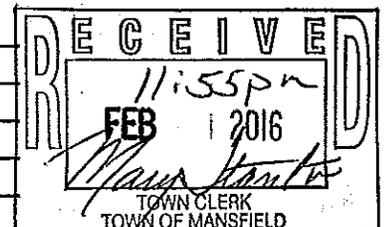
No hearing may be conducted unless the adjoining municipality has received notice required by P.A. 87-307. A representative may appear and be heard at any such hearing.

This letter is to inform you of the pendency of such a project described as follows:

Description of application and location Request for Zoning Regulation
Amendment - Petition of Richard Corti, Agent.
Requesting Amendment to Section 4.06.01.e

Scheduled hearing:

Date: March 14, 2016
Time: 7:00 PM
Place: Town Hall Annex
1712 Main St.
Coventry, CT 06238



Date: 1/19/16

Application #: 16-022R

RECEIVED

JAN 19 2016

TOWN OF COVENTRY
PLANNING & ZONING

COVENTRY PLANNING AND ZONING COMMISSION

APPLICATION FOR:

PETITION FOR CHANGE OF THE ZONING REGULATIONS

The undersigned hereby petitions that the Zoning Regulations of the Town of Coventry be Changed as Described Below:

See attached

(Please attach additional information if necessary)

A fee of \$150.00 and a State fee of \$60.00 is herewith included. + \$425.00 Public Hearing Fee

AMOUNT RECEIVED: \$635.00

DATE RECEIVED: 1/19/16

AGENT: Richard Conti

APPLICANT: Derek Pacheco

ADDRESS: 1091 Main St.
Manchester, CT

ADDRESS: 162 Grant Hill Rd.
Coventry

PHONE: 860-643-2181

PHONE: N/A

SIGNATURE: [Signature]

SIGNATURE: N/A

DATE: 1-19-16

DATE: N/A

pd 1/19/16 ck# 706
rec# 38941

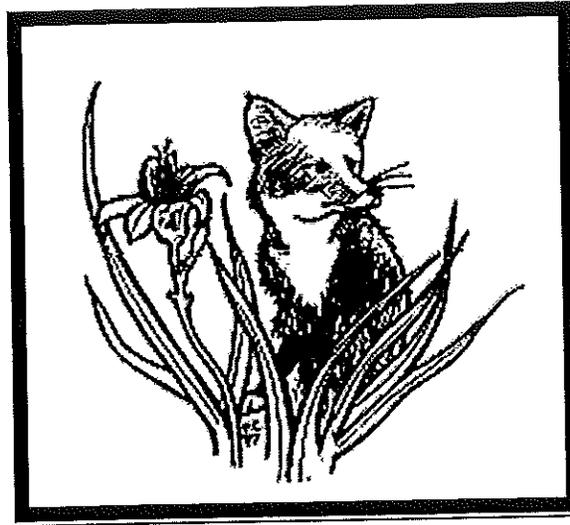
Proposed

Amendment to Section 4.06.01.e – red-lined format.

Accessory buildings, other than residential automobile garages, shall not occupy, in the aggregate, more than three percent (3%) of the area of the lot on which they are located. Residential ~~motor vehicle~~ ~~automobile~~ garages may occupy no more than 3,000 square feet of the area of the lot on which they are located; provided, however, that residential motor vehicle garages may occupy more than 3,000 square feet but not more than 5,000 square feet of the area of the lot on which they are located upon the issuance of a special permit. The granting of such a special permit shall require that the proposed motor vehicle garage:

1. Be located at a minimum of 400 feet from any public right of way.
2. Be located at a minimum of 400 feet from any residential home located on a contiguous parcel of land.
3. Be located on a lot of at least five (5) acres.
4. Have a footprint no greater than three (3) times the size of the residential primary structure on the lot.
5. If determined reasonable and necessary by the Commission, have such vegetative screening as necessary to provide a visual barrier to off-site residences.

Existing



ZONING REGULATIONS TOWN OF COVENTRY CONNECTICUT

Adopted by the Coventry Planning and Zoning Commission

Effective Date: November 13, 2006

REVISION DATES:

- 06/06/07 – Section 6.14
- 07/30/97 – Section 6.10.02.j
- 03/31/09 – Section 5.01.05(a)
- 05/11/09 – Section 4.06.08
- 11/23/09 – Section 6.05.01.a.2
- 02/12/10 – Section 6.07.02.i
- 09/27/10 – Section 6.03.01a3.i, 6.05.01.a.2.i, 6.06.02.a.1.i (Ag Accessory Structure)
- 10/12/10 – Section 6.06.03, 6.07.03, 6.08.3, 6.12.03, 6.13.03 (Design Guidelines)
- 10/12/10 – Section 6.03.02n (Specially Permit Uses) and Section 2.02 (definitions)
- 04/01/11 – Section 6.06, 6.07, 6.08, 6.09, 6.10, 6.11, 6.12, 6.13
- 06/01/11 – Section 6.03.02.o (GR40/80 Specially Permitted Uses) Wineries & Social Gatherings Accessory;
6.03.02.p 'Agriculture and Accessory Retail Uses not to Exceed 2,500 s.f. in area'
- 08/01/11 – Section 2.02, 4.02.01.iii, 4.03.03.b, 4.06.05, 4.11.c, 4.12.05.b.6, 4.12.06.f, 4.14.02.b, 5.01.03, 5.04.02,
5.04.03, 5.05.01, 6.03.01, 7.02.01, 7.02.03, 7.04
- 06/15/12 – Section 4.06.01.g.4; 4.06.01.g.5; 5.02.04; 5.03.03; 5.05.01.a.5; 5.06.02.b; 5.06.03.b,f; 5.06.04.a;
5.06.07.d, f,6,7,i,j,k; 5.06.09.f; 5.08.02; 6.09.02.c; 6.10.02.h; 6.11.02.h; 7.02.02.h.l; 7.02.03.e,i,j;
7.02.07.1; 7.03.06.c; 7.03.08.b; 8.03; 9.02
- 03/07/13 – Sections 6.11.01.a.9 and 6.10.01.a.10
- 03/24/14 – Sections 2.02, 4.02.01.c.1, 4.02.01.c.2, 4.04.03.c, 4.14.02.i, 5.02.03.d, 5.04.09, 5.05.05.01.c.4,
5.05.01.d, 5.12.06, 5.13.05.j, 5.13.05.k, 6.06.02.i, 6.07.01.a.1, 6.07.01.a.10, 7.03.07, 7.04.08.d,
Subdivision Regulations - Chapter V, Sections 2 a, b, c, d; 2.d.1, 2 A, B; 2.d.2; 2.e.1, 2, 3; 2.f, g, h,
i, j; 4, 5 a, b, c; 6; Road Regulations – Sections 50A.4, 50A.5, 60C.2, 60C.3, 60C.4
- 09/15/14 – Section 7.06.01
- 06/08/15 – Sections: 4.03.03.d, 4.06.01.g, 4.06.01.g.4, 4.14.02.c.2, 5.03.05.c.10, 5.13.05.g, 6.03.01.a.3, 6.03.02.q,
6.04.02.b, 6.04.02.d, 6.05.01.a.2, 6.06.01.a.1, 6.07.01.a.9, 6.07.02.kk, 6.09.02.f, 6.10.02.k, 6.11.02.j.

Existing

Section 4.05 Limitations on Number of Principal Uses, Buildings and Structures

Except as hereinafter provided, or as specifically provided elsewhere in these Regulations, no more than one (1) principal use and one (1) principal building or structure shall be permitted on a lot in the GR-40, GR-80, LR, and R/A zones. The main dairy, livestock, poultry, or other barn on a farm shall be allowed as and deemed to be a second principal building. The Commission may grant a special permit to allow more than one (1) use or principal building or structure on a lot in the VR, G, VC, C/A, C, NC, RD, and PO zones if the buildings or structures and land otherwise comply with all other requirements of the zone in which they are located.

Section 4.06 Accessory Uses, Buildings, and Structures

Section 4.06.01 Buildings and Structures Generally

- a. Accessory structures customarily incidental to any use permitted herein are allowed, provided that such accessory structures shall not include any signs except as allowed under Section 5.01. Unless otherwise provided in these Regulations, a special permit shall be required for any accessory use, building, or structure on any lot or parcel on which the principal use is a specially permitted use.
- b. An accessory building shall not be used as a dwelling unit unless specifically allowed elsewhere in these Regulations.
- c. A barn or stable may be erected to a greater height than the principal residential structure on a lot, provided the height restrictions of Section 4.04.05 are met.
- d. Accessory buildings on a residential lot may include private garages in which not more than three (3) spaces may be occupied by a commercial vehicle. Private garages may not be used for the conduct of any commercial occupation or business, other than home occupations to the extent permitted by these Regulations.
- e.  Accessory buildings, other than residential automobile garages, shall not occupy, in the aggregate, more than three percent (3%) of the area of the lot on which they are located. Residential automobile garages may occupy no more than 3,000 square feet of the area of the lot on which they are located.
- f. Accessory structures shall observe the same yard requirements as principal structures, except as otherwise provided in subsection g, below, Section 4.11.d, or other applicable provisions of these Regulations.
- g. Notwithstanding the yard requirements set forth elsewhere in these Regulations, detached accessory buildings that are not more than thirteen feet (13') in height may be located:
 - 1. In the rear half of any lot, but not nearer than 75 feet to any street (except for roadside shelters).

TOWN OF MANSFIELD



Paul M. Shapiro, Mayor

AUDREY P. BECK BUILDING
FOUR SOUTH EAGLEVILLE ROAD
MANSFIELD, CT 06268-2599
(860) 429-3330
Fax: (860) 429-6863

February 3, 2016

NEC FUTURE
U.S. DOT Federal Railroad Administration
One Bowling Green, Suite 429
New York, NY 10004

Submitted via email to: comment@necfuture.com

Subject: NEC Future Tier 1 Draft Environmental Impact Statement

Dear Administrator Feinberg:

The Town of Mansfield is cautiously optimistic at the possibility of introducing passenger rail service to our community as part of the proposed Hartford to Boston via Providence routes as described in Alternatives 2 and 3 of the Draft EIS. While Mansfield remains largely a rural community, there is strong interest in having local access to a multi-modal transportation system that will provide residents with options to use public transportation to travel around New England and along the east coast. The Town has long supported the restoration of passenger rail service from New London to Vermont along the existing north-south rail corridor and plans for an east-west corridor are encouraging.

The expansion of rail service contemplated in the Draft EIS would provide additional options for our residents, improving access to nearby metropolitan areas such as Hartford, Providence, Boston and New York. Additionally, as home to the main campus of the University of Connecticut (UConn), and particularly as UConn continues to grow its student population and expand its campus, there is continual pressure on our rural roads from vehicular traffic associated with this campus growth. The expansion of Northeast Corridor rail service to Mansfield would likely help to mitigate traffic impacts associated with UConn.

It is our understanding that once a preferred alternative is selected, a Tier 2 Environmental Impact Statement will be prepared. Preliminarily, we raise the following issues and concerns and ask that these issues be fully examined and addressed as part of any future EIS process.

- **Route and Station Location.** Based on the maps of Alternatives 2 and 3 contained in Appendix A of the draft EIS, it appears that the route segment running through Mansfield is located in a rural area of town. This alignment not only will have significant impact on our neighborhoods, it will fail to provide rail service to key employment centers in the area, thereby diminishing its impact. As the proposal contemplates a new hub station in Mansfield, we would prefer that the alignment be shifted to coincide with one of the Smart Growth Development areas identified in our Plan of Conservation and Development. One of the primary goals of our future land use plan is to direct new growth and development to these Smart Growth Development areas to protect the rural character of the rest of the community. These areas have been designated for more intense growth based on the availability of public infrastructure (water and sewer service) that can support higher densities needed for transit-oriented development.

For example, a more northerly alignment through the Storrs area, being careful to avoid direct impacts to

agricultural lands, would provide direct access to the main campus of the University of Connecticut, a new technology park planned at the University, and our new downtown. A more southerly alignment in the vicinity of Route 6 would provide access to the town's other major commercial area at the intersection of Routes 6 and 195 as well as access to Willimantic, a historic downtown located in the Town of Windham to our south.

- **Impacts to Environmental Resources and Rural Character.** The protection and conservation of our natural resources and rural character is of paramount importance to our residents. Due to the high-level nature of the analysis conducted as part of the Tier 1 EIS we are unable to determine the actual impact on our community at this time. We strongly encourage you to select an alignment and station location that minimizes impacts to our agricultural lands, working farms, natural resources and rural character. We will provide additional comments on impacts and mitigation measures as part of the Tier 2 EIS review process.
- **Rail Connections.** The Town has been working with other communities and the New England Central Railroad for many years to encourage restoration of passenger rail service between New London and Vermont using the existing rail line in Mansfield. While the potential for this service is in the early stages of evaluation, we believe that it offers tremendous opportunity when paired with the Hartford to Providence connection envisioned in the EIS. We hope that you will consider this potential and work with state officials to explore that connection.
- **Community Outreach.** As you move forward with a Tier 2 EIS, extensive community outreach will be needed in each of the affected communities to ensure that residents and other stakeholders have ample opportunity to understand and comment on the proposed action and mitigation measures. This is particularly critical in areas where new rail routes and stations are proposed, such as Mansfield.

If you have any questions regarding these comments, please contact Linda Painter, our Director of Planning and Development at 860.429.3330 or linda.painter@mansfieldct.org.

Sincerely,


Paul M. Shapiro
Mayor


JoAnn Goodwin
Chair, Mansfield PZC

Cc: Town Council
Planning and Zoning Commission
Transportation Advisory Committee

CONNECTICUT FEDERATION OF PLANNING AND ZONING AGENCIES QUARTERLY NEWSLETTER

Winter 2016

Volume XX, Issue 1

APPLICATION FEES CAN BE SET ON AN INDIVIDUALIZED BASIS

An application fee ordinance was challenged by an applicant for being too vague because the fee to be paid on an application was not based upon an established fee schedule. Instead, the fee was determined on a case by case basis by the town planner and then approved by the commission.

Connecticut General Statutes Sec. 8-1c provides the authority for a municipality to establish a schedule of fees to allow a commission to defray costs associated with the processing of a land use application. The only statutory limit on this authority is that the amount of the fees be reasonable.

In finding that the manner of assessing application fees was not vague, the court stated that "The state legislature may give a municipality the power to fill in the details of police power legislation that addresses particularized, local concerns. Obviously, the General Assembly could not prescribe in detail the countless conditions which might confront a [commission] in the State's many cities and towns." Thus, the grant of authority is general in nature, to be defined later by each municipality.

Thus, a fee ordinance which does not set forth a schedule of fees but instead allows for a fee based upon the actual costs of processing an application is valid and enforceable because it

passes the vagueness test imposed by the state and federal constitutions. Stefanoni v. PZC, 60 Conn. L. Rptr. 857 (2015).

DISAPPOINTMENT DOES NOT EQUAL HARDSHIP

The owner of property abutting Long Island Sound sought variances from lot coverage and setback requirements so that he could expand his single family dwelling. The lot was similar in size and dimensions to neighboring lots, as was the existing home. The Zoning Board of Appeals approved the variances requested finding that the small size of the lot and its dimensions posed a sufficient hardship to the owner as he could not expand his home without them.

The Appellate Court found the nature of this hardship to be personal in nature and thus not sufficient to support the issuance of a variance. The property was already being put to a permitted use in conformity with neighboring uses and the sole purpose of the variances was to satisfy the personal desire of the owner for a larger home. The court also found it relevant that the variances would allow for the expansion of the home, which was nonconforming. It recognized that one purpose of zoning is to reduce, not expand, nonconformities as soon as justice allows and the issuance of the requested variances would thwart this purpose. Amendola v. Zoning Board of Appeals, 161 Conn. App. 726 (2015).

Written and Edited by
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Tel. (860) 677-7355
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cfpza@live.com

CONNECTICUT FEDERATION OF PLANNING AND ZONING AGENCIES QUARTERLY NEWSLETTER

Winter 2016

Volume XX, Issue 1

NO ADVERSE IMPACT EXCUSES NEED TO SHOW NO FEASIBLE AND PRUDENT ALTERNATIVE

An application to install a stockade fence within a wetland area was approved by the commission after a finding was made that the fence would not have an adverse impact on the wetland. The fence would be installed so that a 6 inch gap existed between the ground and the fence, allowing for the passage of animals to and from the wetland. In addition, gravel, as opposed to concrete, would anchor the posts. A neighbor appealed stating that the approval was invalid as the applicant had not presented any evidence of feasible and prudent alternatives.

The court dismissed the appeal. In so doing, it followed the well-established rule that where there is no adverse impact to a wetland caused by the proposed activity, there does not need to be a finding that no feasible and prudent alternative exists. This rule follows the language found in Connecticut General Statute Sec. 22a-41(b). Errichetti v. IWWC, 60 Conn. L. Rptr. 892 (2015).

STATE SUPREME COURT FINDS INJUNCTION NOT AVAILABLE TO INTERVENOR

When a commission denied a planning and zoning application, the applicant appealed to the Superior Court.

Once the appeal was filed with the court, a person intervened in the proceedings pursuant to Connecticut General Statutes Sec. 22a-19. This state statute allows any person to intervene in a proceeding in order to raise a claim to protect the public trust in the state's natural resources from unreasonable harm. In this case, the intervenor alleged that the proposed subdivision posed an unreasonable harm to an abutting lake.

The court eventually ruled in favor of the intervenor and granted his request for an injunction. Both the developer and the Commission raised the issue that the court was without authority to grant an injunction in an appeal of a land use agency decision. The State Supreme Court agreed.

The State Supreme Court ruled that a person intervening in a land use appeal pursuant to CGS sec, 22a-19 cannot expand the remedies available in a land use appeal. Land use appeals are subject to CGS 8-8 which provides as remedies that the court can sustain the commission decision, overrule it or remand the matter to the commission for further proceedings. Nowhere is the remedy of an injunction mentioned, thus it is unavailable to the intervenor.

The court noted that section 22a-16 of the General Statutes does provide a frustrated intervenor with the ability to file an independent action in court where the remedy of an injunction would be available. Hunter Ridge LLC v. PZC, 318 Conn. 431 (2015).

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CONNECTICUT FEDERATION OF PLANNING AND ZONING AGENCIES QUARTERLY NEWSLETTER

Winter 2016

Volume XX, Issue 1

LEADERSHIP ROLE REQUIRES DISQUALIFICATION

After a zoning amendment was approved that would allow the development of a 5 story assisted living facility, an appeal was taken to challenge the approval. One of the issues raised on appeal was that two of the board members were also on the Board of Trustees of a church whose property abutted the land to be developed.

The court stated that these members should have disqualified themselves from the zoning proceedings due to their leadership role in the church as well as evidence that the church could benefit financially from the building of the assisted living facility. Grabowsky v. Township of Montclair, 2015 N.J. Lexis 634 (2015).

LOSS OF LOCAL ZONING AUTHORITY PROPOSED

Regionalization of land use approvals is being proposed by CCM among others. If approved, local control over land use decisions could be lost. Thus, what we already experience with Cell Towers and Wind Turbine projects would be expanded to other development projects which are deemed to be of regional importance [such as a mall or large multi-family development]. The Federation recommends that members urge their representatives in Hartford to support local control.

ANNOUNCEMENTS

ANNUAL CONFERENCE

The Federation's annual conference will take place on March 17, 2016 at the Aqua Turf Country Club in Southington Connecticut. The price per person for attending will remain at \$43.00. In addition to the wonderful food and company that is always part of this event, you will be treated to a presentation on Zoning Regulation and E-Commerce. The internet and the sharing economy have allowed people to utilize their homes for business, raising questions of how best to preserve the residential character of neighborhoods and also provide a level playing field for traditional business which find themselves subject to regulations which e-commerce avoids.

Lifetime and Length of Service Awards

Nomination forms will be sent out soon for these awards which will be presented to recipients at the Annual Conference. You should begin your process of finding worthy nominees now.

Workshops

If your land use agency recently had an influx of new members or could use a refresher course in land use law, contact us to arrange for a workshop. At the price of \$175.00 per session for each agency attending, it is an affordable way for your commission or board to keep informed.

Written and Edited by
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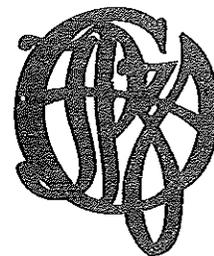
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SAVE THE DATE!

CFPZA Annual Conference – March 17, 2016



This year's Annual Conference will take place on Thursday, March 17, 2016 at the Aqua Turf, Southington, CT. Please consider attending this year's Annual Conference of the Connecticut Federation of Planning and Zoning Agencies. The night is sure to be both enjoyable and informative. Our speaker will be presenting information on Zoning Regulation and E-Commerce. The internet and the sharing economy have allowed people to utilize their homes for business, including the renting of bedrooms. This raises questions of how best to preserve the residential character of neighborhoods and also promote local business and provide a level playing field for traditional business which find themselves subject to regulations which e-commerce often avoids.

I know that many commissions require an education component for their commission members. At a cost of only \$45.00 per individual, this conference is a cost effective way to satisfy this requirement while providing an opportunity to socialize with commission members from other towns.

In addition, Length of Service awards will be presented to commission members who have served in any capacity for 12 or 25 years. If you have a commission member who is eligible for this recognition, please submit his or her name. Nomination forms will be included in the registration packet that will be sent to your commission in the coming weeks.

I hope to see you and members of your commission at this worthwhile event!

NOTICE OF ANNUAL MEMBERSHIP DUES INCREASE

Effective March 1, 2016, annual dues increase to \$110.

Careful and thoughtful consideration has been given to the issue of increasing membership dues in these financially difficult times. Connecticut Federation of Planning and Zoning Agencies has not increased dues since 2002. This action is taken in response to rising costs and increasing expenses. Be assured that the CFPZA operates in a manner that is fiscally responsible with a focus on continuing to provide members with the same level of benefits that commissions have been enjoying since 1948, including:

- A quarterly newsletter which reports on court decisions and legislative developments effecting land use;
- Discounts on zoning books and pamphlets published by the Federation;
- Workshops for commissions at a discounted rate of \$175 per workshop - not per individual (call for more details);
- Land use advice for agency chairman;
- Eligibility for all agency staff and members to attend the CFPZA Annual Conference, and
- Length of service awards for qualifying agency members.

Thank you for your continued support.