

MEETING NOTICE AND AGENDA

MANSFIELD PLANNING AND ZONING COMMISSION

Monday, May 2, 2016 ▪ 6:45 PM

Or upon completion of Inland Wetlands Agency Meeting

Audrey P. Beck Municipal Building ▪ 4 South Eagleville Road ▪ Council Chamber

1. **Call to Order**
2. **Roll Call**
3. **Approval of Minutes**
 - a. April 18, 2016 – Regular Meeting
4. **Zoning Agent's Report**
5. **Public Hearing**
 - 7:00 p.m.**
Zoning Map Amendment Application, 91 & 93 Meadowbrook Lane, PZC File #1338
Memo from Director of Planning and Development- Public Hearing to be opened and tabled to 5/16/16
 - 7:05 p.m.**
Special Permit Application, Meadowbrook Gardens, 91 & 93 Meadowbrook Lane, PZC File #1284-3
Memo from Director of Planning and Development- Public Hearing to be opened and tabled to 5/16/16
6. **Old Business**
 - a. **Zoning Map Amendment Application, 91 & 93 Meadowbrook Lane, PZC File #1338**
Tabled pending a 5/16/16 Continued Public Hearing
 - b. **Special Permit Application, Meadowbrook Gardens, 91 & 93 Meadowbrook Lane, PZC File #1284-3**
Tabled pending a 5/16/16 Continued Public Hearing
 - c. **Request for Interpretation of Lot Frontage Requirements**
Memo from Director of Planning
 - d. **Draft Zoning Regulations**
Tabled pending a 6/20/16 Public Hearing
 - e. **Other**
7. **New Business**
 - a. **Special Permit Application, Efficiency Unit, 819 Middle Turnpike, D. & K. Ricci, PZC File #1340**
 - b. **Zoning Regulation Amendment to the Business Zone, S. Schrager, PZC File #1341**
 - c. **Consideration of Alternate Appointment: Katie Fratoni**
Email from Alfred Fratoni, Mansfield Republican Town Committee
 - d. **2016-17 Capital Improvement Budget**
Memo from Director of Planning
 - e. **8-24 Referral: Schoolhouse Brook Park Universal Access Trail**
Memo from Director of Planning
 - f. **Other**

Charles Ausburger ▪ Binu Chandy ▪ JoAnn Goodwin ▪ Roswell Hall III ▪ Gregory Lewis ▪ Kenneth Rawn ▪ Bonnie Ryan
Vera Stearns Ward ▪ Susan Westa ▪ Paul Aho (A) ▪ Terry Berthelot (A)

8. Reports from Officers and Committees

- a. Chairman's Report
- b. Regional Planning Commission
- c. Regulatory Review Committee
- d. Planning and Development Director's Report
- e. Other

9. Communications and Bills

- a. Other

10. Adjournment

DRAFT MINUTES
MANSFIELD PLANNING AND ZONING COMMISSION
Regular Meeting
Monday, April 18, 2016
Council Chamber, Audrey P. Beck Municipal Building

Members present: J. Goodwin, B. Chandy, G. Lewis, K. Rawn, B. Ryan, V. Ward, S. Westa
Members absent: C. Ausburger, R. Hall
Alternates present: P. Aho, T. Berthelot
Staff present: Janell Mullen, Assistant Planner/Zoning Enforcement Officer

Chairman Goodwin called the meeting to order at 6:30 p.m. and appointed alternates Aho and Berthelot to act.

Approval of Minutes:

- a. April 4, 2016 (adjourned to April 6, 2016) Regular Meeting:
Chandy MOVED, Ward seconded, to approve the 04-06-2016 minutes as presented. MOTION PASSED with all in favor except Westa and Lewis who disqualified themselves. Ryan and Aho noted for the record they had listened to the recording.
- b. April 13, 2016 Field Trip Notes:
The notes of the April 13, 2016 Field Trip were noted.

Zoning Agent's Report:

Noted.

Old Business:

a. Draft Zoning Regulations

Westa MOVED, Ryan seconded, that a public hearing be scheduled for June 20th to hear comments on the proposed revisions to the Zoning Regulations related to stormwater management dated March 17, 2016, and draft regulations related to Water Service Connections and the creation of a Water Pipeline Overlay District dated April 12, 2016. The draft regulations shall be referred to the Town Attorney, CRCOG, adjacent municipalities, Town Council, Conservation Commission and Four Corners Sewer and Water Advisory Committee for review and comment. MOTION PASSED UNANIMOUSLY.

Ward MOVED, Ryan seconded, that a public hearing be scheduled for June 20th to hear comments on the proposed revisions to the Zoning Regulations related to alcohol and live/amplified music dated April 8, 2016. The draft regulations shall be referred to the Town Attorney, CRCOG, adjacent municipalities, Town Council, and Economic Development Commission for review and comment. MOTION PASSED UNANIMOUSLY.

b. Zoning Map Amendment Application, 91 & 93 Meadowbrook Lane, PZC File #1338

Item is tabled pending a 5/2/16 Public Hearing.

c. Special Permit Application, Meadowbrook Gardens, 91 & 93 Meadowbrook Lane, PZC File #1284-3

Item is tabled pending a 5/2/16 Public Hearing.

d. Request for Interpretation of Lot Frontage Requirements

Memo from Director of Planning. Members began discussion of this issue but decided by consensus to table the matter until the Director of Planning was available to participate in the discussion.

e. Ad Hoc Committee on Rental Regulations and Enforcement

Chairman Goodwin suggested that the PZC appoint an alternate to attend these committee meetings as there have been and will be other meeting dates when some of the members will be unable to attend.

Aho volunteered to be an alternate. Staff will provide Aho with the materials provided to members to date and notify the Chair of the committee of his appointment.

New Business:

a. Request for transient vendor on Town Square

Westa disqualified herself. Chandy MOVED, Ryan seconded, that the PZC authorize the temporary parking and use of the UConn ice cream truck at the Town Square in Storrs Center as described in the letter from Ethan Haggerty. The use is accessory to Downtown Storrs events and shall be subject to any conditions that may be placed upon the use by the Mansfield Traffic Authority. MOTION PASSED with all in favor except Westa who disqualified herself.

Reports from Officers and Committees:

Noted.

Communications and Bills:

Noted.

Adjournment:

The Chair declared the meeting adjourned at 6:52 p.m.

Respectfully submitted,

Vera S. Ward, Secretary



Town of Mansfield

Department of Planning and Development

Date: April 27, 2016
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director of Planning and Development
Subject: Meadowbrook Gardens
91-93 Meadowbrook Lane
Application for Zoning Map Amendment (PZC File 1338)
Application for Special Permit (PZC File 1284-3)

The applicant has prepared revised plans and updated reports based on initial staff and consultant comments. To allow staff and the consultant sufficient time to review the updated information, staff recommends that the Commission open the public hearings for both the rezoning and special permit applications on May 2nd and immediately continue the hearings to May 16, 2016. If the Commission agrees with this recommendation, no applicant presentation would be made and no public comment would be taken on May 2nd for these two items.

Recommended Motion – Application for Zoning Map Amendment

MOVE to continue the public hearing on the application of Uniglobe Investment LLC to change the zone classification for the property located at 91 and 93 Meadowbrook Lane from R-20 to DMR (PZC File 1338) to May 16, 2016.

Recommended Motion – Application for Special Permit

MOVE to continue the public hearing on the special permit application of Uniglobe Investment LLC to construct a 36 unit multi-family development at 91 and 93 Meadowbrook Lane to DMR (PZC File 1284-3) to May 16, 2016.



Town of Mansfield Mansfield Fire Department



To: Planning and Zoning Commission
From: Fran Raiola, Deputy Chief/Fire Marshal
CC: Linda Painter, Director of Planning
Date: March 10, 2016
Re: Meadowbrook Gardens – Meadowbrook Lane

PZC #1284-3

After reviewing the plans dated and details for the above referenced project for compliance with the Town of Mansfield Regulations for Fire Lanes and Emergency Vehicle Access, I have the following comments.

1. The submitted plans appear to substantially meet the requirements for Fire Lane and Emergency Vehicle Access.
2. Please provide details for barrier protection from vehicles for the propane tanks.
3. Please consider providing a turnaround at the dead end in the rear of the northern most building.
4. The scope of this review is for compliance with The Town of Mansfield Fire Lane Regulations to ensure adequate access for emergency vehicles only. The applicant is required to apply for a building permit and submit plans and specifications to the Building Department and the Office of the Fire Marshal, to determine compliance with Fire and Building codes.

March 31, 2016

Tel: 860-652-8227
800-288-8123

Town of Mansfield Inland Wetland Agency
Town of Mansfield Planning & Zoning Commission
Attention: Ms. Linda Painter
Director of Planning and Development – Town of Mansfield
Audrey P. Beck Municipal Building
4 South Eagleville Road
Mansfield, CT 06268

www.bscgroup.com

RE: Peer Review
Meadowbrook Gardens
Special Permit Application and Inland Wetlands License

Dear Planning & Zoning Commission and Inland Wetland Agency Members and Ms. Painter:

BSC has completed its review of the applications for a Special Permit and Inland Wetlands license for the proposed 36 unit apartment complex known as Meadowbrook Gardens located at 91-93 Meadowbrook Lane in Mansfield, Connecticut. This letter report summarizes our findings and presents comments and questions that we have formed as a result of the review. This review encompasses the Project's compliance with the Town of Mansfield Zoning Regulations, Town of Mansfield Inland Wetlands & Watercourses Regulations, Town of Mansfield Engineering Standards and Specifications, 2004 Connecticut Stormwater Quality Manual and the 2002 Connecticut Guidelines for Soil Erosion & Sediment Control, and general engineering and best development practices.

Project Summary and Information Reviewed

The proposed project includes an expansion of the existing 50-unit development apartment complex, currently under construction at 73 Meadowbrook Lane, by an additional 36-units. The development will include four (4) buildings with associated bituminous parking and drive areas, as well as associated sidewalks, landscaping, and utilities. The main access to the site is off Meadowbrook Lane, with a secondary connection to the adjacent development. The site is approximately 4.6 acres and is a combination of wooded and grass areas with several small structures. The portion of the site to be developed, which is located on the northern half of the site, is relatively flat and generally slopes from east to west. The southern half of the site, as well as the portion along the western border, slopes down to an existing unnamed brook, which also helps define the limits of on-site wetlands. Portions of the slope exhibit a gradient of 40% and a change in vertical elevation of up to 28 feet.

This reports was generated based on our review of the following:

- The plan set "Meadowbrook Gardens, 91-93 Meadowbrook Lane, Mansfield Center, CT 06250," Uniglobe Investments, LLC, 73 Meadowbrook Lane, Mansfield Center, CT 06250, January 8, 2016.

Engineers

Environmental
Scientists

Custom Software
Developers

Landscape
Architects

Planners

Surveyors



- “Design Statement Drainage Calculations & Hydraulic Analysis, Uniglobe Investments, LLC,” by Civil Engineering Services, LLC, 203 Boston Hill Road, Andover, CT 06232, February 5, 2016.
- “Traffic Impact Report, Meadowbrook Gardens, Meadowbrook Lane, Mansfield, CT, Draft 3” by F.A. Hesketh & Associates, Inc., August 14, 2015.
- “On-Site Investigation Report, 91 & 93 Meadowbrook Lane, Mansfield, CT,” by Connecticut Ecosystems, LLC, August 11, 2015.
- Meadowbrook Gardens “Special Permit Application”, dated 2-9-16.

Additionally, we made several site visits to observe field conditions, and had conversations with Bob Magi (Uniglobe) and Gerald Hardisty, PE (Civil Engineering Services).

Stormwater Review

The site generally consists of sand, gravel and loam which, as defined by the National Resources Conservation Service (NRCS), are “well drained.” The applicant had soil samples tested for permeability by Connecticut-certified materials testing laboratory and the results verified the soils depicted by NRCS and observed by us on the site. The stormwater design intent was to take advantage of the existing soils and maximize percolation by utilizing a combination of dry wells (18), underground leaching galleys (27 4’x4’x4’ units) and two (2) shallow above-ground detention basins. The design intent was to infiltrate all stormwater generated within the development footprint for storms up to the 25-year storm, and thereby reduce the peak flow as required by the Town of Mansfield Zoning Regulations.

Our stormwater review comments are as follows:

1. We concur with the Applicant’s hydrologic design assumptions and computations, as well as the resulting intent to infiltrate stormwater utilizing the previously mentioned drainage facilities. We concur that the site peak flows will be reduced for storms up to the 50-Year storm, which satisfies the Town zoning requirements.
2. Based upon the specific site characteristics, the 2004 CT DEEP Stormwater Quality Manual requires a Water Quality Volume (WQV) storage of approximately 6,800 cubic feet. The applicant, through the use of dry wells, leaching galleys, and above-ground detention, has provided a water quality volume of approximately 11,100 cubic feet, which exceeds the required WQV.
3. Based upon the specific site characteristics, the 2004 CT DEEP Stormwater Quality Manual requires a Groundwater Recharge Volume (GRV) storage of approximately 1,670 cubic feet. The applicant, through the use of dry wells, leaching galleys, and above-ground detention, has provided a water quality volume of approximately 11,100 cubic feet, which exceeds the GRV.
4. The horizontal roof leaders that connect the roof drainage to the dry wells are designed to be four (4) inch diameter. We recommend the diameter be increased from four (4) inches to eight (8) inches.
5. The pipe connections between the two (2) sets of leaching galleys located on the southern end of the development are designed to be four (4) inches. We recommend



the diameter be increased to 12 inches.

6. A large percentage of drainage piping between dry wells and connected to catch basins are designed to be a diameter of six (6) inches. We recommend piping between dry wells and any piping connected to a catch basin and/or leaching basin be a minimum of 12 inch diameter.
7. Catch Basin – 4 is designed to have a TF = 236.7. Based upon the design contours at CB-4, the proposed grade is approximately 240. We recommend this be reviewed and the top of frame grade revised as appropriate.
8. We recommend that a detail, or at the least some more spot grading, be provided for the outlet of the detention basin located on the west side of the paved area.
9. We recommend that a detail of the emergency spillway at the small basin located west of the main entrance drive be provided.
10. Catch Basin – 7 has been designed to be at the low point of the paved area and it has been designed with a modified rip rap overflow to prevent erosion of the hill during large storm events, during which the leaching galleys/existing soil do not have the volume/percolation to prevent runoff from leaving the site. By our computations, the large storm events (50-year and up) will overflow and, during those events, the entire paved drive to the “238” contour will be ponded. We recommend, as a safety measure in lieu of the rip rap overflow down the entirety of the slope, that CB-7 be designed with a 12” outlet pipe at elevation 236. The outlet pipe would extend approximately 30’ to the bottom of the slope and be fitted with a concrete flared end and rip rap outlet control. We recommend this be designed per the 2000 ConnDOT Drainage Manual standards and a detail be provided.

Erosion & Sedimentation Control Review

11. Based on the fifth paragraph of the General Erosion and Sedimentation Control Notes, dust control seems to be left up to the contractor. We recommend that the notes be revised to indicated it is the contractor’s responsibility to provide dust control as necessary, and as required by the Town, to prevent fugitive emissions from leaving the site.
12. Based on the sixth paragraph of the General Erosion and Sedimentation Control Notes, an anti-tracking pad seems to be recommended but not required. Although there is an anti-tracking pad detail, we recommend revising the notes to indicate that an anti-tracking pad is required.
13. Although the plan calls for the use of temporary sediment traps, we do not see a detail of one. We recommend placing a temporary sediment trap detail, as shown on page 5-11-25 of the 2002 Connecticut Guidelines for Erosion & Sediment Control, on the plans.
14. We recommend a detail for a concrete washout area be provided on the plans, to ensure chemicals associated with concrete do not get washed towards the resource areas as concrete trucks and other equipment, are washed on-site after use. We also



recommend a note be added to the general notes requiring the contractor to utilize the concrete washout area detail during any operations that involve washing concrete off concrete trucks or other equipment.

15. Erosion and sedimentation controls should be extended along the southwest edge of the construction envelope, so that a continuous line of erosion and sedimentation controls extends along the undeveloped perimeter of the construction envelope.
16. We recommend that as an extra layer of protection for the resource area, along the southern and western borders of the developed area, a double row of silt fence or a hay bale-reinforced row of silt fence be used in lieu of the single row of silt fence that is currently shown.

Sanitary Review

In accordance with the Connecticut Department of Public Health Code On-Site Sewage Disposal Regulations, and Technical Standards for Subsurface Sewage Disposal Systems, Section IV, Design Flows, the peak design flow for a residential building is 150 gallons per day per bedroom. Assuming two (2) bedrooms per unit, the peak design flow is 300 gallons per day (gpd). Based on 18 units, the total peak flow for the development is 5,400 gallons per day.

17. Sanitary laterals are shown on the Site Plan; however, their material, diameter, inverts, and slopes are not shown. In accordance with Section V.A.1 – Utilities, of the Town of Mansfield Department of Public Works Engineering Standards and Specifications, we recommend the plans be revised to show the following:
 - Diameter (minimum 4”).
 - Inverts and slopes, to ensure the laterals do not conflict with storm drain pipes.
 - Material (recommend PVC to match the same material as the sanitary collector pipes, which are designed to be PVC.)
18. We recommend that reference on the plans be made to require the construction of all sanitary facilities to be constructed to the Mansfield Department of Public Works Engineering Standards and Specifications, specifically:
 - Sanitary Drop Manhole.
 - Sanitary Manhole Invert.
 - Sanitary Service Connection to Sanitary Main.
 - Typical Trench Section.
19. Based on a conversation on March 28, 2016 with David Garand, Windham Water Pollution Control Authority (WPCA), he has received a set of plans and performed a review. He indicated that the WPCA facility has the capacity to accept the proposed design flow. He indicated that the WPCA had several minor comments that were sent back to the applicant but that he has not received any revised plans yet.



Wetlands Review

On Thursday, March 24th, BSC conducted a site visit to evaluate proposed potential impacts to regulated wetland/watercourse resources and the associated 150' Upland Review Area (URA). BSC reviewed the project site in accordance with Connecticut Public Act No 155 of 1972 and associated amendments, Connecticut General Statutes Sections 22a-36 to 22a-45 inclusive, and with Bylaws for the Mansfield Inland Wetlands Agency and associated "Inland Wetlands & Watercourses Regulations". BSC reviewed project documents listed above, and the Natural Resources Conservation Service soils mapping (Web Soil Survey) for the project site. It should be noted that BSC was not requested to review the placement of wetland boundary flagging on the site, but has been requested to evaluate the proposed project for potential impacts to wetland resource areas. In this regard, BSC provides the following comments.

20. Although not specifically requested to review wetland flag locations, BSC did walk the flagged wetland boundary, and concurs that flagging is generally correctly located. The flagged wetland borders the stream that flows along the western edge and through the southern portion of the property. Land slopes steeply upwards from the wetland and stream, with forested upland occurring on the slopes. Most of the level land at the top of the slope is mowed grass and yard associated with existing houses and buildings on the property.
21. No direct impacts to wetlands or stream are proposed. Maintenance of naturally vegetated areas that buffer these resources, particularly where slopes are steep, will help protect wetland resources from impacts. Greater protection of regulated wetland/watercourse resources would be achieved if proposed development were removed from forested areas within the 150' URA. Portions of the URA are already altered and maintained as mowed grass/yard. These altered URA areas provide fewer of the buffering services that the undisturbed URA provides, and thus are more suited to development. BSC recommends that the Applicant evaluate opportunities to move development out of the forested portion of the 150' URA.
22. On the western side of the property, near Meadowbrook Lane, a stormwater basin is proposed within approximately 15 feet of the wetland boundary. BSC recommends that this feature be moved as far as possible from the wetland boundary.
23. On the southwest side of the development, another stormwater basin is located within approximately 45 feet of the wetland boundary. BSC recommends that the Applicant consider moving this feature as far as possible from the wetland boundary.
24. In the southeast portion of the development footprint, forested land is proposed to be cut within the URA, and a paved drive and parking area are proposed in this area. BSC recommends that the Applicant consider reducing or moving the footprint for the paved area so that impacts to the naturally vegetated URA area are reduced.
25. Maintaining erosion and sedimentation controls during the construction phase will be essential for protecting the stream, wetlands and associated naturally vegetated URA,



given the steep grade on the slopes above the regulated wetland/waterway resources. BSC recommends at least weekly construction phase environmental inspections to ensure that erosion and sedimentation controls are maintained, and an inspection of erosion and sedimentation controls prior to the start of construction.

Traffic Impact Study

In general, we concur with the design approach and methodology of the applicant's traffic impact study. We concur that the report demonstrates that the existing roadway infrastructure has sufficient capacity to accommodate the proposed site generated traffic and should not require off-site mitigation with the exceptions and requested clarifications as outlined below.

26. Traffic Counts - The traffic turning movement counts were collected in late June and early July of 2015. Eastern Connecticut State University is located approximately one mile from the project site and the University of Connecticut is located approximately six miles from the project site. Both of these universities significantly affect the traffic volumes in the area which would not have been reflected in the traffic data that was collected since the academic year had ended. We would recommend that the traffic information at a minimum be seasonally adjusted to account for this condition or new data be collected and analyzed.
27. The report does not include any discussion or analysis of the intersection of Meadowbrook Lane and Mansfield City Road. All traffic heading to or from the west and south of the project site will travel through this intersection and therefore we recommend it should be studied.
28. Sight Distance - We concur that the proposed site driveway location appears to have sufficient sight distance to allow ingress and egress to the site. Please confirm that any proposed driveway landscaping or signing does not block the required sight lines. No sight distance triangle diagrams were provided.
29. Turning Movements - The report states that an SU-30 design vehicle was used to determine the layout of the proposed site driveway which is in concurrence with the ConnDOT Highway Design Manual for a minor commercial drive. However, no turning movement graphics we provided for review. Additionally, we would recommend that the Town of Mansfield emergency personnel be given the opportunity to comment regarding emergency vehicles access into as well as circulation throughout the entire proposed site.
30. Trip Generation – It is discussed that the two Meadowbrook Garden developments will have separate access points onto Meadowbrook Lane as well as the proposed internal connection. We would suggest that the two developments be analyzed separately as there will not likely be many trips that cross the developments to utilize another driveway. The trip distribution showing 134% instead of 100% is not standard. As noted in the report, this could account for some variation in the distribution and given the small volumes would not likely have a large impact on the analysis.
31. The site location referenced as Figure 1 was not provided. Please provide.



32. Description of the Area – the 3rd paragraph states “Conantville Road originates at an un-signalized intersection with S.R. 632 (North Frontage Road).” This intersection appears to be signalized. Please clarify.
33. Table 2 indicates that the traffic data is for EB only but the data provided in the appendix appears to indicate it is for both directions. Please clarify.
34. Capacity Analysis and Traffic Impact
 - a. The LOS for the intersection of Route 195 and Conantville Road will be reduced to LOS D in the future condition. Although there is a decrease in the LOS, as noted in the report the increase in the delay is minor.
 - b. Intersection Analysis does not include discussion or analysis of the intersection of Meadowbrook Lane and Mansfield City Road.
35. Crosswalk – a proposed midblock crosswalk is shown on the submitted plans but lack proposed signing. Please provide appropriate signing and pavement markings that meet Town, ConnDOT, and MUTCD standards.

Please do not hesitate to contact our office with any inquiries you may have.

Very truly yours,
BSC Group-Connecticut, Inc.

Will Walter, PE, LEED AP
Manager of Civil Engineering

Uniglobe Investment LLC

73 Meadowbrook Ln
Mansfield, CT 06250

April 26, 2016

Linda Painter, Director of Planning and Development
4 South Eagleville Rd
Stores, CT 06268

Topic: Meadowbrook Gardens

In order to address the Conservation Commission requests for additional active outdoor space and activities we have made the following modification:

The former community building will now be used as a maintenance building which will also house the management office as well as a common reception area.

We will be installing a community garden directly behind the building for exclusive use by the tenants at Meadowbrook Gardens. The garden will be approx 50' x 50' and will be open to interested tenants.

A bacci ball court will be installed in the area adjacent to the community garden to provide the tenants with additional outdoor activity options.

Picnic tables and fixed charcoal grills will be added at multiple locations around 'The Green' for use by the tenants.

The conservation easement, which was granted as part of Phase I, will be extended to protect the existing wooded sloped area down to the brook. Also a wood chip path as part of Phase I has been extended to the next phase.

Sincerely yours,

Michael Yenke

DATUM ENGINEERING & SURVEYING, LLC

132 Conantville Road
Mansfield Center, CT 06250

Phone: 860-456-1357
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Edward Pelletier, L.S.
Email: e.pelletier@datumengr.com

April 26, 2016

Linda Painter, Director of Planning and Development
4 South Eagleville Road
Mansfield, CT 06268-2599

Re: Meadowbrook Gardens - Meadowbrook Lane - PZC #1284-3

Dear Linda:

The following is in response to the comments we have received from BSC Group and staff regarding the above referenced application.

Response to your review memo dated April 6, 2016:

Article Five:

Section A.5.3.D - Site Plan Requirements

- Signatures and seals will be provided on final plans.
- Zoning districts have been added to sheet 4 of 5.
- Abutter information on north side of Meadowbrook Lane has been added to sheet 4
- Volume of fill has been noted on sheet 5.
- Revised walkway along south side of Meadowbrook Lane has been added to appropriate sheets.
- Volume of fill has been noted on sheet 5.
- DEEP site does not show any Stratified Drift Aquifer in the vicinity of this site. The Flood Hazard Area is located to the south of this site and does not include any portion of this site.
- Proposed refuse and recycling (dumpsters) areas have been added to appropriate sheets.
- Existing tree line and proposed edge of clearing limits have been clearly depicted on sheet 4.
- Areas to remain undisturbed have also been depicted on sheets 4 & 6.
- Recreational Facilities have been explained in a letter from Uniglobe Investment LLC.

Section A.5 - Site Plan Approval Criteria

- Waste disposal areas have been added to the plan. Uniglobe Investment LLC already has a strict lease and management plan to protect the natural environment along with nuisance control as part of the first phase and will be applied to this phase also.
- Vehicle and pedestrian access has been modified to address comments we have received.
- Sidewalks/bikeways/trails - Along the east side we propose to connect a wood chip path to the existing path constructed as part of Phase I. There is presently a proposal to construct a walkway along the southerly side of Meadowbrook Lane the entire length of the site frontage.

- Lighting Plan - Sheet 10 depicts the location and types of lighting proposed.
- Architect's letter addresses the passive solar/energy conservation techniques.
- Management of construction traffic is depicted on sheet 6.
- Protection of significant trees have been depicted on sheets 4 & 10.
- Overall design has been addressed in the Architect's letter.

Article Six - Performance Standards:

Section B.4.J. -Waste disposal has been addressed above.

Section B.4.M - DEEP mapping does not list this site as being in an Aquifer Area. Underground propane tanks are not a hazard to ground water and a storm water management plan is part of the proposed plans and noted on sheet 6. Landscape management has been noted on sheet 10.

Section B.4.N -Architect's letter describes how energy considerations are a part of the building designs and proposed landscape plan has provided substantial buffering between the proposed improvements and the southerly side of Meadowbrook Lane protecting neighboring properties on the north side of Meadowbrook Lane.

Section B.4.Q.1- Landscaping

- Landscape plan has been revised to address Rudy Favretti's comments and John Alexopoulos will be meeting with Rudy Favretti to review revisions.
- Additional plantings have been added along the east side of project.
- Umbrella Pines have not been used and John Alexopoulos will discuss options with Rudy Favretti.
- Additional screening has been added to the rear of building facing Meadowbrook Lane.
- Storm water structures are depicted on landscape plan.
- This site incorporates a huge amount of LID stormwater practices.
- Landscape plan does use many native species in the design.
- Sheet 4 identifies trees to be removed along with those to be retained.

Section B.4.Q.2 - Landscape buffers - Sheets 2, 4, 6 & 10 depict areas to be protected by conservation easement, landscaping, protection of existing vegetation and limiting areas of disturbance, especially in the areas of steep slopes. Uniglobe Investment LLC owners have committed to installing a fence between the existing Phase I and the condominiums to the east of their project and details will be worked out with the Condominium Association.

Section B.4.R. - We believe we meet all of those standards listed.

Article Eight - Dimensional Standards:

Section B.9 - Highway Clearance Setback - Plans have been revised to meet the setback requirements.

Article Ten - Special Requirements:

Section A.4.B - We have no plans to extend the sidewalk to Eastern ballfields.

Section A.4.D - Buildings have been adjusted to meet the 50 feet separating distance requirement.

Section A.4.H - The proposed site will consist of 14.79 acres with the addition of this phase to the project and is one site under the same ownership and management.

Section A.4.J - Bike racks have been proposed at each building and a proposed wood chip path is proposed on the east side to connect to the existing path.

DMR District (Section A.6):

Section A.6.D - Architect has revised plans showing building height in relation to average grade.

Section A.6.E - Architect has addressed minimum floor area.

Section A.6.F - Plans have been revised to exceed or meet the 50 foot minimum distance between structures.

Section A.6.G - Buildings have been setback 10' from parking spaces.

Section A.6.H - Plans have been revised to include a Conservation Easement (0.94 acres) along the southerly portion of this site. See letter from Uniglobe Investment LLC regarding active recreation to be installed on Phase I and along with use of the maintenance building.

Section A.6.I - Courtyard exceeds 50 foot width requirement.

Section A.6.K - These units will not be income restricted.

Signs (Section C):

- Entrance median and sign have been eliminated.

Parking Requirements (Section D):

11. Handicap parking spaces have been revised.

12. Fire emergency vehicle turnaround exists from parking area nearest Meadowbrook Lane (see Fire Marshal comments) has been addressed with load bearing grass pavers.

17. Lighting has been depicted on sheet 10.

19. The proposed plans conform to the interior parking lot landscaping as the proposed site has more than the required landscaping in the center and along the interior edges of the proposed parking and driveway accesses. The interior parking lot requirements designed are similar to the Eastbrook Mall parking lot.

Cut/Fill (Section H):

- Volume of excess topsoil is noted on sheet 10.

Architectural/Site Design Standards (Section R):

- Architectural and design standards - addressed by Architect's letter.

Article Thirteen:

Amendments to the Zoning Map - required information supplied or in the process of being provided.

Reply to comments submitted by BSC Group:

Stormwater Review Comments;

1. No reply required
2. No reply required
3. No reply required
4. Plans were revised to use six (6) inch diameter pipes and calculations have been attached to substantiate that six (6) inch diameter piping is sufficient.
5. Revised to show twelve (12) inch diameter piping as recommended.
6. Calculations have been attached to substantiate that six (6) inch diameter piping is sufficient.
7. Catch basin #4 top of frame elevation has been corrected.
8. Outlet detail for detention area has been provided with elevations.
9. Outlet detail for detention area has been provided with elevations.
10. Catch basin #7 has been re-located in conjunction with modifications to the plan. The contributing area to catch basin #7 has also been increased, hence the storage capacity of the reservoir comprised of 4' galleries has also been increased. The catch basin is now located such that minor flooding will not impact any driving paths, and in severe conditions, will only impact those parked in the immediate area of the catch basin. Our calculations indicate that the double Type II catch basin grate will ingest flows from a 50-year storm event with a depth of flow at the perimeter of the catch basin of only 3 inches.

We have also increased the diameter of the culvert from the catch basin to the row of galleries to 12-inches. Our calculations indicate a 12-inch culvert will handle the maximum discharge from a 50-year storm event with inlet control causing a headwater depth of about 15 inches – which we find acceptable.

With the above-mentioned modifications, we feel the new catch basin location and size will adequately address the 50-year storm event and that installation of a culvert leading to the bottom of the slope would be both over-kill and contrary to attempts to minimize disturbance outside of that shown.

Erosion & Sedimentation Control Review:

11. Note has been revised as recommended.
12. Note has been revised as recommended.
13. Details have been added for temporary sedimentation traps.
14. A concrete washout area has been added along with a detail.
15. Erosion and sedimentation controls have been extended as requested.
16. Extra protection has been added in the way of hay bales on the back side of silt fence.

Sanitary Review:

17. All sanitary laterals are 4" SCH-40 PVC and inverts have been added to plan to ensure that there will be no conflicts with storm drains.
18. Note added to sheet 8 as recommended.
19. Revised plans have been submitted to Windham Water Pollution Control Authority for their review.

Wetlands Review:

20. No reply required
21. Slopes along the south end of project have been protected with a Conservation Easement.
22. The location of the stormwater basin can not be moved because of the elevation needed from the catch basin #3.
23. The proposed stormwater basin at the southwest side of development is located in the existing open area and will be a grass basin with gentle slopes and maintained by mowing. The basin will exit in the provided grass swale leading to the northerly basin protecting the existing slopes along the brook from any potential for erosion.
24. The proposed parking and drive at the southeast portion of the site is needed to provide appropriate parking and traffic circulation for this project.
25. We agree that weekly inspections of erosion and sedimentation control should be conducted along with maintaining erosion and sedimentation controls.

Traffic Impact Study:

Presently being completed.

Civil Engineering Services, LLC

203 Boston Hill Rd
ANDOVER, CT 06232
(860) 742-0364

JOB 215049 - Meadowbrook

SHEET NO. _____ OF _____

CALCULATED BY CEH DATE 4-26-16

CHECKED BY _____ DATE _____

SCALE _____

CB #7:

$$A = 18,931 \text{ SF} = 0.43 \text{ AC}$$

$$t_c = 5 \text{ min. (minimum)}$$

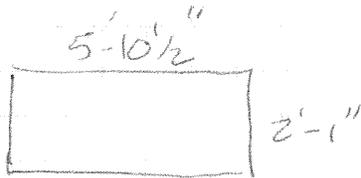
$$\text{SCS} \rightarrow 25\text{-yr storm} = ~~2.82~~ 2.232 \text{ cfs}$$

$$\text{rational} \rightarrow 25\text{-yr storm}$$

$$Q = c_i A = (0.9)(7.2 \text{ in/hr})(0.43 \text{ ac})$$

$$= \underline{2.79 \text{ cfs}}$$

CT DOT TYPE C
DOUBLE GRATE TYPE II



$$\text{weir} : (2'-1'' \times 2) + 5'-10\frac{1}{2}'' \\ = 10'$$

$$\text{max depth of stormwater (25-yr)} \quad \leftarrow \text{~~0.42'~~ } \\ \text{@ catch basin} = 0.23' = 3'' = 5''$$

$$Q_{50} = (0.9)(3.1)(0.43) = 3.13 \text{ cfs}$$

$$\text{max depth @ catch basin} = 0.25' = 3''$$

OK

Weir Report

MEADOWBROOK CB#7 AS WEIR

Rectangular Weir

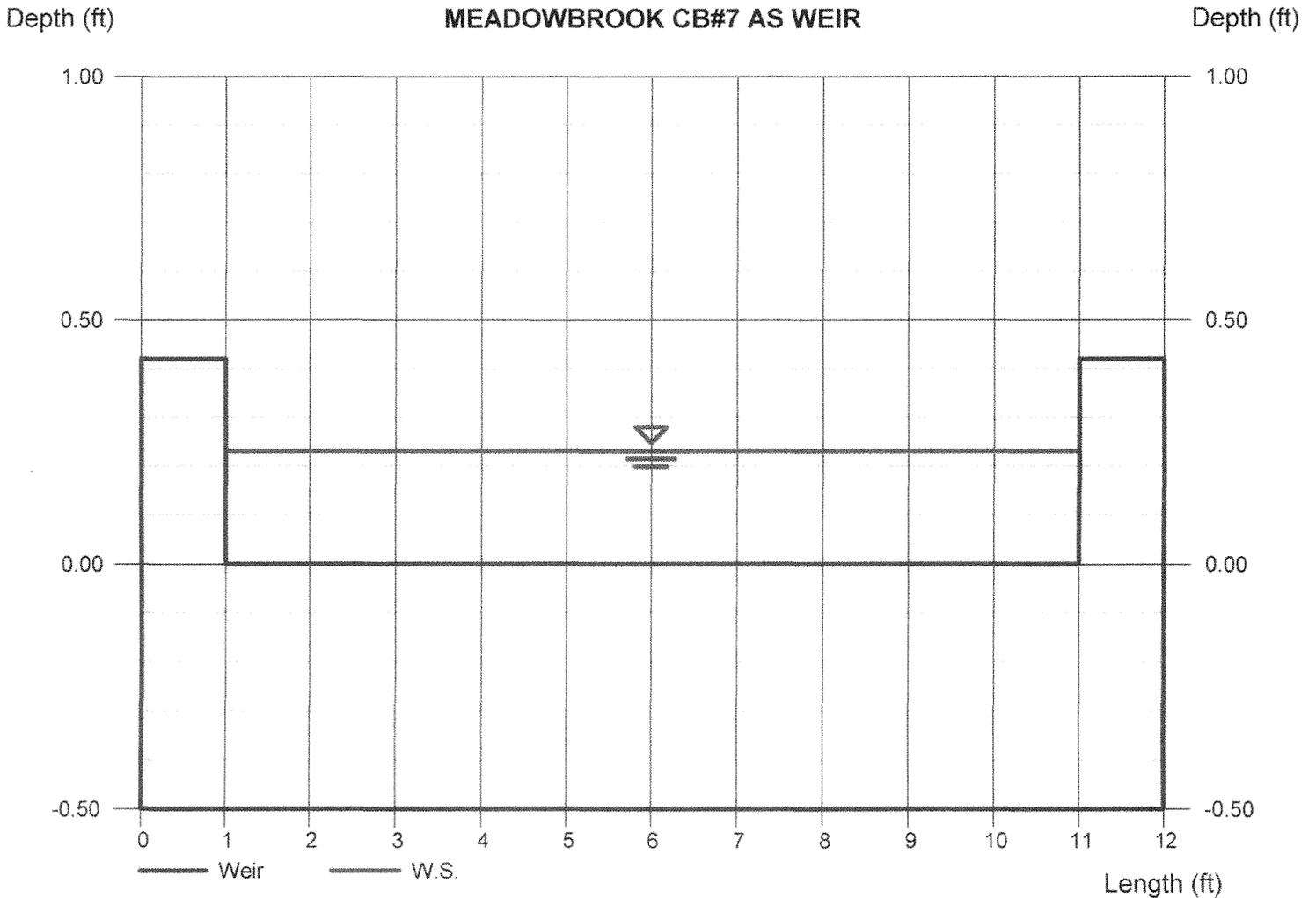
Crest = Broad
Bottom Length (ft) = 10.00
Total Depth (ft) = 0.42

Highlighted

Depth (ft) = 0.23
Q (cfs) = 2.887
Area (sqft) = 2.31
Velocity (ft/s) = 1.25
Top Width (ft) = 10.00

Calculations

Weir Coeff. Cw = 2.60
Compute by: Q vs Depth
No. Increments = 20



Culvert Report

CULVERT FROM CB#7

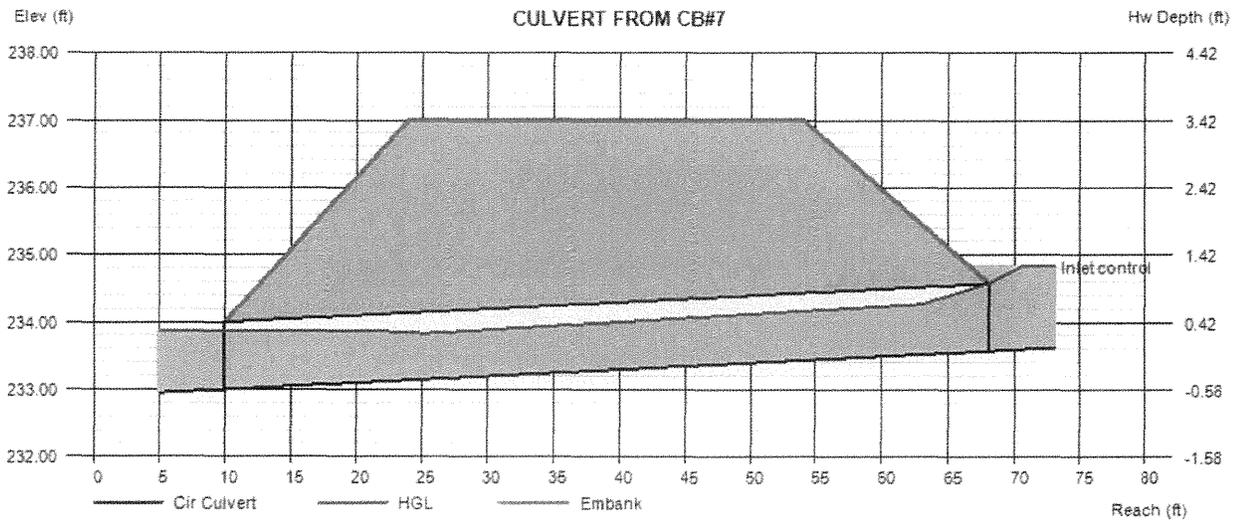
Invert Elev Dn (ft)	= 233.00
Pipe Length (ft)	= 58.00
Slope (%)	= 1.00
Invert Elev Up (ft)	= 233.58
Rise (in)	= 12.0
Shape	= Cir
Span (in)	= 12.0
No. Barrels	= 1
n-Value	= 0.012
Inlet Edge	= 0
Coeff. K,M,c,Y,k	= 0.0098, 2, 0.0398, 0.67, 0.5

Embankment	
Top Elevation (ft)	= 237.00
Top Width (ft)	= 30.00
Crest Width (ft)	= 30.00

Calculations	
Qmin (cfs)	= 0.00
Qmax (cfs)	= 3.25
Tailwater Elev (ft)	= (dc+D)/2

Highlighted	
Qtotal (cfs)	= 3.00
Qpipe (cfs)	= 3.00
Qovertop (cfs)	= 0.00
Veloc Dn (ft/s)	= 4.12
Veloc Up (ft/s)	= 4.77
HGL Dn (ft)	= 233.87
HGL Up (ft)	= 234.33
Hw Elev (ft)	= 234.83
Hw/D (ft)	= 1.25
Flow Regime	= Inlet Control

OK



Civil Engineering Services, LLC

203 Boston Hill Rd
ANDOVER, CT 06232
(860) 742-0364

JOB 213049 - Meadowbrook

SHEET NO. 1 OF 1

CALCULATED BY GH DATE 4-26-16

CHECKED BY _____ DATE _____

SCALE _____

Roof leaders:

assume 7.2 in/hr rainfall (= 0.6 ft/hr)

assume largest roof area (= 1500 SF)

then max rainfall = 900 ft³/hr

900 ft³/hr = 15 ft³/min = 0.25 ft³/sec (cfs)

max depth of flow in 6" leader = 4.6"

Culvert Report

MEADOWBROOK ROOF LEADERS

Invert Elev Dn (ft) = 100.00
Pipe Length (ft) = 25.00
Slope (%) = 1.00
Invert Elev Up (ft) = 100.25
Rise (in) = 6.0
Shape = Cir
Span (in) = 6.0
No. Barrels = 1
n-Value = 0.012
Inlet Edge = 0
Coeff. K,M,c,Y,k = 0.0018, 2.5, 0.03, 0.74, 0.2

Embankment

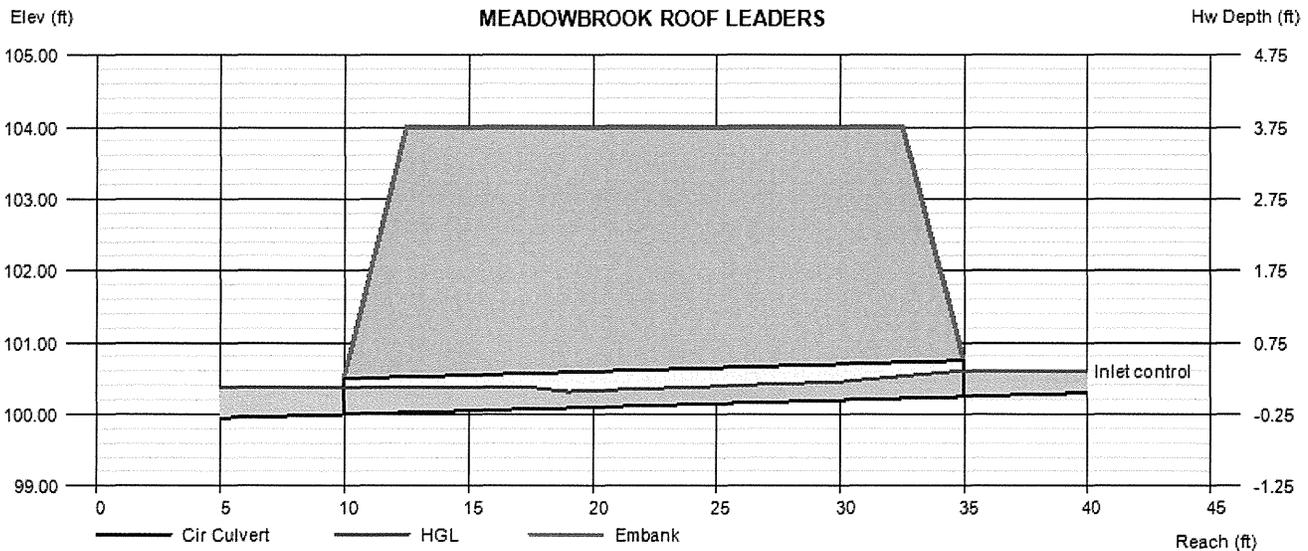
Top Elevation (ft) = 104.00
Top Width (ft) = 20.00
Crest Width (ft) = 20.00

Calculations

Qmin (cfs) = 0.05
Qmax (cfs) = 0.25
Tailwater Elev (ft) = (dc+D)/2

Highlighted

Qtotal (cfs) = 0.25
Qpipe (cfs) = 0.25
Qovertop (cfs) = 0.00
Veloc Dn (ft/s) = 1.57
Veloc Up (ft/s) = 2.50
HGL Dn (ft) = 100.38
HGL Up (ft) = 100.50
Hw Elev (ft) = 100.60
Hw/D (ft) = 0.71
Flow Regime = Inlet Control



SCHEDULE OF DIMENSIONAL REQUIREMENTS
ZONE R-20 DMR

	REQUIRED/ALLOWED	PROVIDED
MINIMUM LOT AREA:	5 ACRES	14.79 ACRES
MINIMUM LOT FRONTAGE:	300'	774.41'
MAXIMUM BUILDING HEIGHT:	40'	33'
MAXIMUM BUILDING COVERAGE:	25%	9.9%
*UNIT DENSITY: (5000 SF/UNIT)	86	86

*SEC. ART. X.4.A.4.D REQUIRING SPECIAL DIMENSIONAL EXCEPTIONS BY THE COMMISSION

AFFORDABLE HOUSING UNITS (20%) - ART. X SEC. 6.K
TWO BEDROOM UNITS - 1200 SQ.FT. LIVABLE AREA OR LESS

UNITS IN 2-FAMILY DWELLINGS	-	0
MULTI FAMILY DWELLINGS	18	18
ACCESSIBLE HOUSING UNITS	4 MIN.	4

NOTE: THE DEVELOPER WILL COORDINATE WITH THE MANSFIELD HOUSING AUTHORITY AND OTHER STATE AND REGIONAL AGENCIES THAT PROMOTE AFFORDABLE HOUSING OPPORTUNITIES TO MARKET THE AFFORDABLE UNITS TO LOW AND MODERATE INCOME FAMILIES.

UNIT DENSITY CALCULATION (ART. X.A.5.B)*
TOTAL SITE AREA = 14.89 ACRES (648,302 SQ.FT.)
AREA OF SLOPES > 15% = 1.97 ACRES (85,085 SQ.FT.)
AREA OF WETLANDS = 2.89 ACRES (125,828 SQ.FT.)
641,302 - 85,085 - 125,828 = 430,389 SQ.FT.
430,389 SQ.FT./5000SF/UNIT = 86.07 UNITS

PARKING-MEADOWBROOK GARDENS-(ART X.A.5.B)
PARKING REQUIRED (36 UNITS x 2 SPACES/UNIT) = 72
REGULAR PARKING SPACES PROVIDED - 81
HANDICAP PARKING SPACES PROVIDED - 4
TOTAL PARKING SPACES PROVIDED - 85

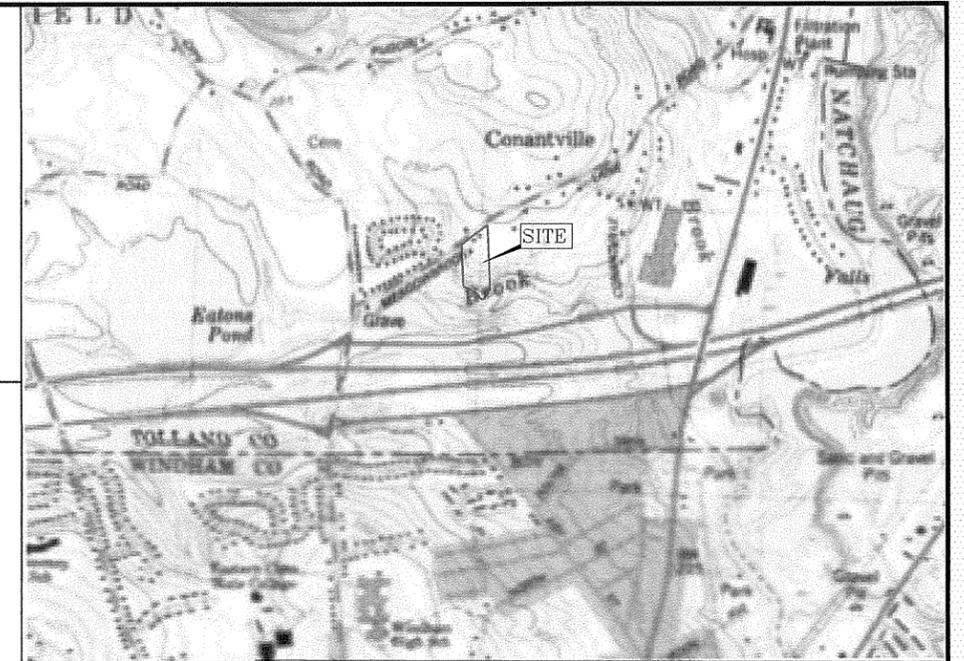
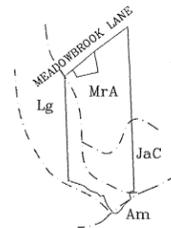
SOIL MAP

SCALE : 1" = 400'

--- SOILS LEGEND ---

SYMBOL DESCRIPTION
Am ALLUVIAL LAND
JgC JEFFREY GRAVELLY SANDY LOAM AND LOAMY SAND, 3 TO 15 PERCENT SLOPES
Lg LEICESTER-RIDGEBURY-WHITMAN VERY STONY COMPLEX
MfA MERRIMAC FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES

--- SOILS DATA AS PER : "SOIL SURVEY, TOLLAND COUNTY, CONNECTICUT,
UNITED STATES DEPARTMENT OF AGRICULTURE, SOIL
CONSERVATION SERVICE"



LOCATION MAP

SCALE : 1" = 1000'

NOTES:

1.) SUBJECT PROPERTY IS NOT LOCATED IN AN AQUIFER PROTECTION AREA AS DELINEATED ON MAP ENTITLED "AQUIFER PROTECTION AREAS MANSFIELD, CT. DECEMBER 28, 2015" PREPARED BY THE STATE OF CONNECTICUT DEPARTMENT OF ENERGY & ENVIRONMENTAL PROTECTION 79 ELM STREET HARTFORD, CT 06106-5127.

MEADOWBROOK GARDENS

91-93 MEADOWBROOK LANE
MANSFIELD CENTER, CONNECTICUT 06250

OWNER & APPLICANT

UNIGLOBE INVESTMENT, LLC
73 MEADOWBROOK LANE
MANSFIELD CENTER, CT 06250

JANUARY 8, 2016

REVISED: APRIL 11, 2016

INDEX TO SHEETS

COVER SHEET	SHEET 1 OF 11
BOUNDARY SURVEY	SHEET 2 OF 11
EXISTING TOPOGRAPHIC SURVEY	SHEET 3 OF 11
DEMOLITION PLAN	SHEET 4 OF 11
SITE LAYOUT & GRADING PLAN	SHEET 5 OF 11
EROSION, SEDIMENTATION & MAINTENANCE PLAN	SHEET 6 OF 11
DETAIL SHEET	SHEET 7 OF 11
DETAIL SHEET	SHEET 8 OF 11
DETAIL SHEET	SHEET 9 OF 11
LANDSCAPE-LIGHTING-SIGN PLAN	SHEET 10 OF 11
LANDSCAPE-LIGHTING-SIGN DETAILS	SHEET 11 OF 11

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

DATUM ENGINEERING & SURVEYING, LLC
132 CONANTVILLE ROAD
MANSFIELD CENTER, CONNECTICUT 06250

GERALD HARDISTY, P.E.
203 BOSTON HILL ROAD
ANDOVER, CONNECTICUT 06232

JOHN ALEXOPOULOS, ASLA
16 STORRS HEIGHTS ROAD
STORRS, CONNECTICUT 06268

JOB NO. 215049
SHEET 1 OF 11

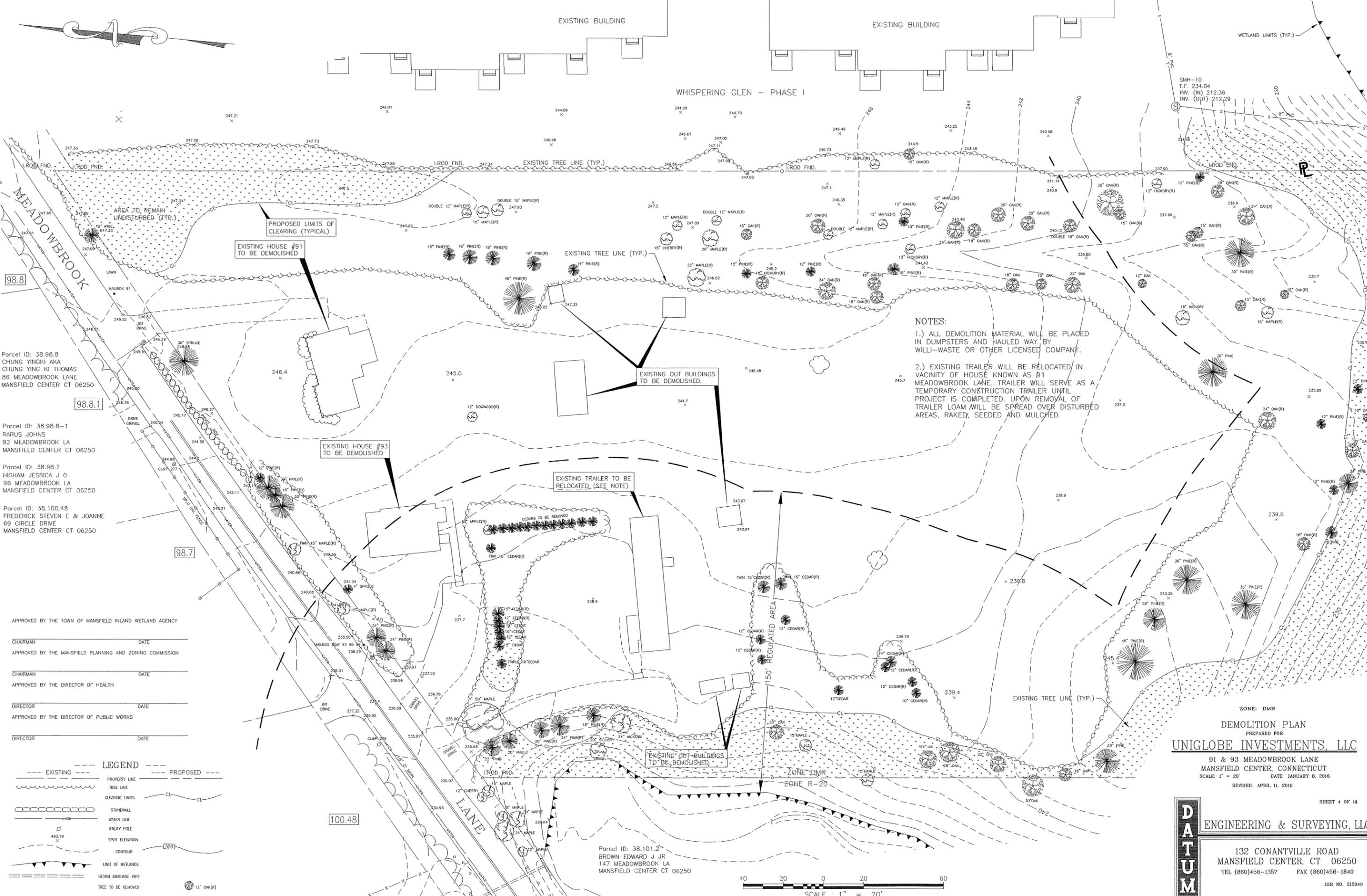
EXISTING BUILDING

EXISTING BUILDING

WHISPERING GLEN - PHASE I

SMH-10
T.F. 234.04
INV. (IN) 212.36
INV. (OUT) 212.29

WETLAND LIMITS (TYP.)



PROPOSED LIMITS OF CLEARING (TYPICAL)

EXISTING HOUSE #91 TO BE DEMOLISHED

EXISTING OUT-BUILDINGS TO BE DEMOLISHED

EXISTING HOUSE #93 TO BE DEMOLISHED

EXISTING TRAILER TO BE RELOCATED (SEE NOTE)

EXISTING OUT-BUILDINGS TO BE DEMOLISHED

NOTES:

- 1.) ALL DEMOLITION MATERIAL WILL BE PLACED IN DUMPSTERS AND HAULLED AWAY BY WILLI-WASTE OR OTHER LICENSED COMPANY.
- 2.) EXISTING TRAILER WILL BE RELOCATED IN VICINITY OF HOUSE KNOWN AS B1 MEADOWBROOK LANE. TRAILER WILL SERVE AS A TEMPORARY CONSTRUCTION TRAILER UNTIL PROJECT IS COMPLETED. UPON REMOVAL OF TRAILER LOAM WILL BE SPREAD OVER DISTURBED AREAS, RAKED, SEEDED AND MULCHED.

Parcel ID: 38.98.8
CHUNG YINGKI AKA
CHUNG YING KI THOMAS
86 MEADOWBROOK LANE
MANSFIELD CENTER CT 06250

Parcel ID: 38.98.8-1
RARUS JOHNS
92 MEADOWBROOK LA
MANSFIELD CENTER CT 06250

Parcel ID: 38.98.7
HIGHAM JESSICA J O
96 MEADOWBROOK LA
MANSFIELD CENTER CT 06250

Parcel ID: 38.100.48
FREDERICK STEVEN E & JOANNE
69 CIRCLE DRIVE
MANSFIELD CENTER CT 06250

Parcel ID: 38.101.2
BROWN EDWARD J JR
147 MEADOWBROOK LA
MANSFIELD CENTER CT 06250

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

LEGEND

--- EXISTING --- PROPOSED ---

PROPERTY LINE

TREE LINE

CLEARING LIMITS

CL CL

STONEWALL

WATER LINE

UTILITY POLE

SPOT ELEVATION

CONTOUR

LIMIT OF WETLANDS

STORM DRAINAGE PIPE

TREE TO BE REMOVED

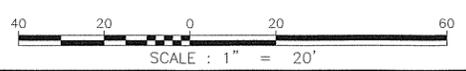
ZONE: DMR

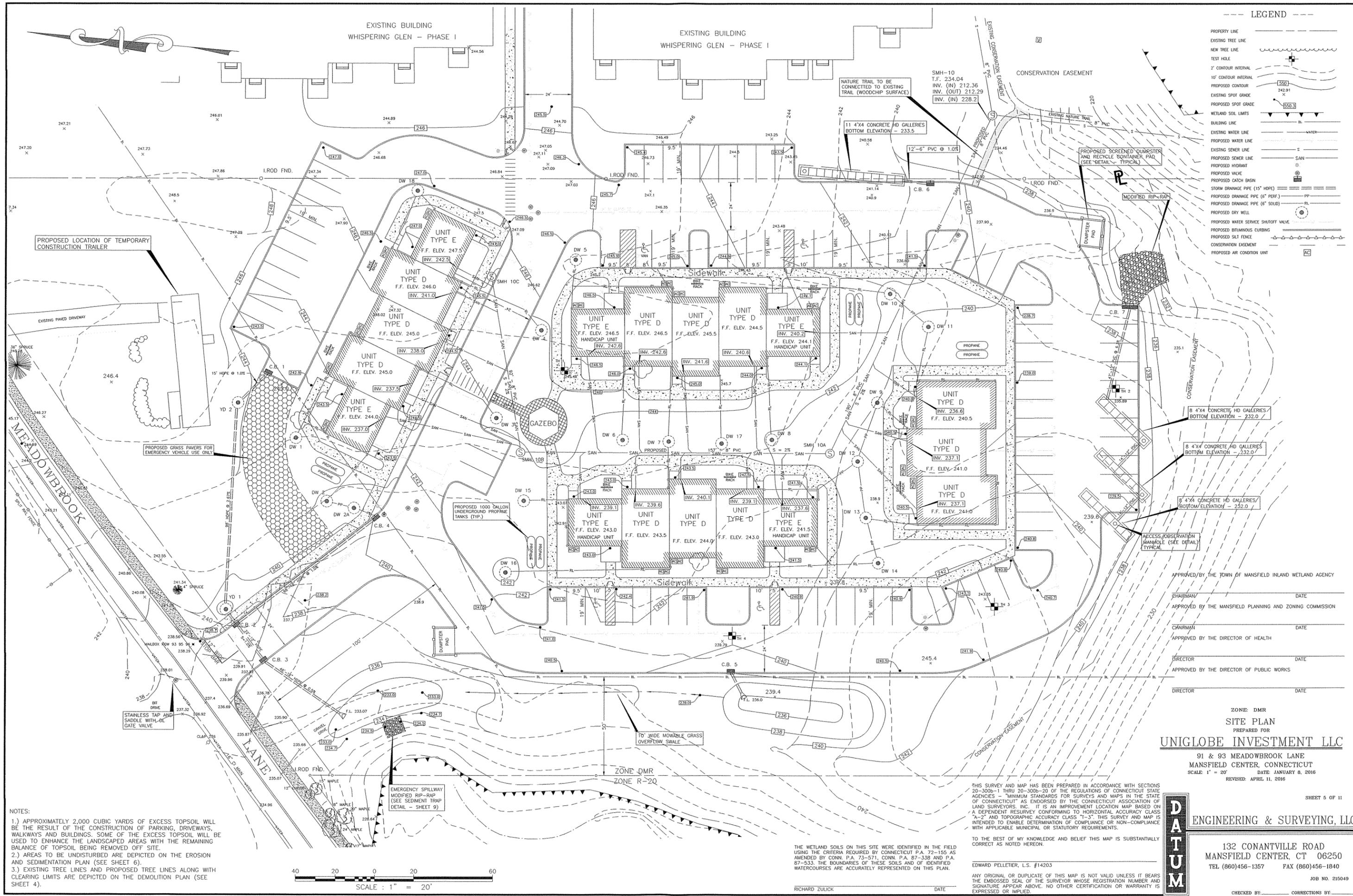
DEMOLITION PLAN
PREPARED FOR
UNIGLOBE INVESTMENTS, LLC
91 & 93 MEADOWBROOK LANE
MANSFIELD CENTER, CONNECTICUT
SCALE: 1" = 20' DATE: JANUARY 8, 2016
REVISED: APRIL 11, 2016

DATUM
ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1357 FAX (860)456-1840
JOB NO. 215049

CHECKED BY: _____ CORRECTIONS BY: _____





LEGEND

- PROPERTY LINE
- EXISTING TREE LINE
- NEW TREE LINE
- TEST HOLE
- 2' CONTOUR INTERVAL
- 10' CONTOUR INTERVAL
- PROPOSED CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- WETLAND SOIL LIMITS
- BUILDING LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- PROPOSED VALVE
- PROPOSED CATCH BASIN
- STORM DRAINAGE PIPE (15" HOPE)
- PROPOSED DRAINAGE PIPE (6" PERF.)
- PROPOSED DRAINAGE PIPE (6" SOLID)
- PROPOSED DRY WELL
- PROPOSED WATER SERVICE SHUTOFF VALVE
- PROPOSED BITUMINOUS CURBING
- PROPOSED SILT FENCE
- CONSERVATION EASEMENT
- PROPOSED AIR CONDITION UNIT

PROPOSED LOCATION OF TEMPORARY CONSTRUCTION TRAILER

PROPOSED GRASS PAVERS FOR EMERGENCY VEHICLE USE ONLY

PROPOSED 1000 GALLON UNDERGROUND PROPANE TANKS (TYP.)

STAINLESS TAP AND SADDLE WITH-BL GATE VALVE

EMERGENCY SPILLWAY MODIFIED RIP-RAP (SEE SEDIMENT TRAP DETAIL - SHEET 9)

11 4"x4" CONCRETE HD GALLERIES BOTTOM ELEVATION - 233.5

8 4"x4" CONCRETE HD GALLERIES BOTTOM ELEVATION - 232.0

8 4"x4" CONCRETE HD GALLERIES BOTTOM ELEVATION - 232.0

8 4"x4" CONCRETE HD GALLERIES BOTTOM ELEVATION - 232.0

ACCESS/OBSERVATION MANHOLE (SEE DETAIL TYPICAL)

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY
 CHAIRMAN _____ DATE _____
 APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION
 CHAIRMAN _____ DATE _____
 APPROVED BY THE DIRECTOR OF HEALTH
 DIRECTOR _____ DATE _____
 APPROVED BY THE DIRECTOR OF PUBLIC WORKS
 DIRECTOR _____ DATE _____

ZONE: DMR
 SITE PLAN
 UNIGLOBE INVESTMENT LLC

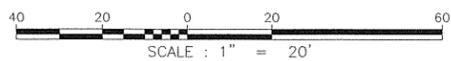
91 & 93 MEADOWBROOK LANE
 MANSFIELD CENTER, CONNECTICUT
 SCALE: 1" = 20' DATE: JANUARY 8, 2016
 REVISED: APRIL 11, 2016

ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
 MANSFIELD CENTER, CT 06250
 TEL (860)456-1357 FAX (860)456-1840

DATUM

- NOTES:
- APPROXIMATELY 2,000 CUBIC YARDS OF EXCESS TOPSOIL WILL BE THE RESULT OF THE CONSTRUCTION OF PARKING, DRIVEWAYS, WALKWAYS AND BUILDINGS. SOME OF THE EXCESS TOPSOIL WILL BE USED TO ENHANCE THE LANDSCAPED AREAS WITH THE REMAINING BALANCE OF TOPSOIL BEING REMOVED OFF SITE.
 - AREAS TO BE UNDISTURBED ARE DEPICTED ON THE EROSION AND SEDIMENTATION PLAN (SEE SHEET 6).
 - EXISTING TREE LINES AND PROPOSED TREE LINES ALONG WITH CLEARING LIMITS ARE DEPICTED ON THE DEMOLITION PLAN (SEE SHEET 4).



THE WETLAND SOILS ON THIS SITE WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY CONN. P.A. 73-571, CONN. P.A. 87-338 AND P.A. 87-533. THE BOUNDARIES OF THESE SOILS AND OF IDENTIFIED WATERCOURSES ARE ACCURATELY REPRESENTED ON THIS PLAN.

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS AN IMPROVED LOCATION MAP BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS "A-2" AND TOPOGRAPHIC ACCURACY CLASS "T-3". THIS SURVEY AND MAP IS INTENDED TO ENABLE DETERMINATION OF COMPLIANCE OR NON-COMPLIANCE WITH APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

EDWARD PELLETIER, L.S. #14203

ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE. NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.

RICHARD ZULICK

DATE

CHECKED BY: _____ CORRECTIONS BY: _____

SILT SACS FOR YARD DRAINS AND DRYWELLS
BMP SUPPLIES (WWW.BMPSUPPLIES.COM) OR EQUAL

SILT SACS FOR CATCH BASINS
TERRAFIX GEOSYNTHETICS INC.
(WWW.TERRAFIXGO.COM) OR EQUAL

I. GENERAL EROSION AND SEDIMENTATION CONTROL NOTES

THIS CONSTRUCTION PLAN PROPOSES EROSION CONTROL MEASURES WHICH WILL PERFORM ONE OR MORE OF THE FOLLOWING FUNCTIONS: MINIMIZATION OF SOIL EXPOSURE, CONTROL OF RUNOFF, SHIELDING OF THE SOILS AND BINDING OF THE SOILS. PROPER EROSION MANAGEMENT WILL MINIMIZE THE EROSION, BUT IT MUST BE UNDERSTOOD THAT ONLY "REASONABLE" EROSION CONTROL CAN BE EXPECTED, THUS, EVEN WITH THE BEST PLAN, SOME EROSION MUST BE ANTICIPATED. SEDIMENTATION CONTROLS ARE THE SECONDARY LINE OF DEFENSE ON THE CONSTRUCTION SITE.

WATER GENERATED SEDIMENT IS A SERIOUS PROBLEM WHEN NATURAL VEGETATION IS REMOVED OR ALTERED. FOR THIS REASON, A RECOMMENDATION FOR MINIMAL SITE DISTURBANCE TO THE EXISTING VEGETATION AND SOIL IS PROPOSED. MINIMAL SOIL EXPOSURE NOT ONLY REDUCES DEMANDING SITE RESTORATION LIMITS, BUT ALSO INVOLVES THE STAGING OF GRADING AND SUBSEQUENT RE-VEGETATION OF DISTURBED AREAS, SO THAT THE LEAST AMOUNT OF SOIL SURFACE IS EXPOSED AT ANY ONE TIME.

RUNOFF SHALL BE CONTROLLED BY THE INTERCEPTION, DIVERSION AND SAFE DISPOSAL OF PRECIPITATION. RUNOFF SHALL ALSO BE CONTROLLED BY THE STAGING OF CONSTRUCTION ACTIVITY AND THE PRESERVATION OF NATURAL VEGETATION WHENEVER POSSIBLE. THE BINDING OF SOIL PARTICLES TO MAKE THEM LESS SUSCEPTIBLE TO REMOVAL BY RAIN SPLASH OR RUNOFF USING NATURAL AND PHYSICAL "BINDERS" (MULCH AND FABRICS) MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.

TO PREVENT SEDIMENT FROM LEAVING THE SITE, TURBID SURFACE RUNOFF SHALL BE DIVERTED THROUGH "LEVEL SPREADER" DEVICES. TEMPORARY LEVEL SPREADER DEVICES SHALL BE CREATED BY PLACING ENGINEERING FABRIC DOWN GRADIENT OF SOIL DISTURBING ACTIVITIES. THIS FLOW WILL BE DISPERSED OVER A WIDE AREA AND FILTERED BY THE FABRIC. THE FENCE SHALL FOLLOW THE EXISTING CONTOURS WITH ENDS OF THE FENCE TURNED UPHILL TO PREVENT END CUTTING. FILTER FABRIC USED AS SILT FENCE AND NOT PLACED ON THE CONTOURS SHOULD HAVE "WINGS" AT INTERVALS OF NO GREATER THAN 100 FEET TO INTERRUPT FLOW PARALLEL TO THE FENCE. TECHNIQUES SUCH AS "WINGED" FABRIC SILT FENCE, CHECK DAMS, HAY BALES INSTALLED AND MAINTAINED AROUND ALL CATCH BASINS, FABRIC SILT FENCE/LEVEL SPREADERS AND SEDIMENTATION PONDS MAY BE USED.

DUST CONTROL, IT IS THE CONTRACTOR'S RESPONSIBILITY AS NECESSARY AND AS REQUIRED BY THE TOWN, TO PREVENT FUGITIVE EMISSIONS FROM LEAVING THE SITE. DUST CONTROL SHALL BE ACHIEVED BY THE APPLICATION OF ANIONIC OR CATIONIC ASPHALT EMULSIONS, LATEX EMULSION OR RESIN IN WATER. FOR APPLICATION RATES AND DILUTION REQUIREMENTS, REFER TO THE MANUFACTURER'S GUIDELINES. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST, BUT WATER SHALL NOT BE USED EXCLUSIVELY.

IN AN EFFORT TO REDUCE THE POTENTIAL FOR TRACKING MUD OFF THE SITE, COURSE STONE "TRACKING PADS" AND AN IMMEDIATE CONSTRUCTION OF A GRAVEL SURFACE FOR ROADWAYS ARE REQUIRED. DIRT TRACKED ONTO EXISTING ROADWAYS SHALL BE REMOVED BY SHOVEL AND G-BROOM AT THE END OF EACH DAY.

EXCAVATION THAT MUST BE DE-WATERED WILL BE PUMPED INTO AN ACTIVE DRAINAGE SYSTEM. BOTH THE INLET AND OUTLET OF THE PUMPS SHOULD BE FILTERED AND PROTECTED FROM SURGE ACTION. DEBRIS AND OTHER WASTE RESULTING FROM EQUIPMENT MAINTENANCE AND CONSTRUCTION SHALL NOT BE DISCARDED ON SITE. THE BI-WEEKLY EROSION AND SEDIMENTATION MONITORING REPORTS SHALL BE SUBMITTED TO THE ZONING AGENT DURING THE TIME THE ROADWAYS ARE BEING CONSTRUCTED.

CONTRACTORS SHALL UTILIZE THE CONCRETE WASHOUT AREA DURING ANY OPERATIONS THAT INVOLVE WASHING CONCRETE OFF CONCRETE TRUCKS OR OTHER EQUIPMENT.

IN THE EVENT OF CONFLICT BETWEEN THESE PLANS AND OTHER REGULATIONS, THE MORE STRINGENT SHALL APPLY.

II. CONSTRUCTION SEQUENCE AND DETAILED EROSION CONTROL MEASURES

THIS CONSTRUCTION PLAN PROPOSES EROSION CONTROL MEASURES WHICH WILL PERFORM ONE OR MORE OF THE FOLLOWING FUNCTIONS: 1. A REGISTERED LAND SURVEYOR SHALL FIELD STAKE LIMITS OF CLEARING AND LOCATION OF TEMPORARY SEDIMENTATION BASINS.

2. UPON COMPLETION OF THE FIELD STAKING, ALL VEGETATION, INCLUDING OVERHANGING TREE LIMBS SHALL BE CHIPPED AND SUCH CHIPS SHALL BE STORED IN NON-GRADED AREAS FOR FUTURE USE AS EROSION BARRIERS ALONG SILT FENCING AND MULCH. EROSION AND SEDIMENT MEASURES SHALL BE INSTALLED AS APPROPRIATE PRIOR TO ANY SITE DISTURBANCE.

3. TEMPORARY STORM WATER RETENTION BASINS SHALL BE CONSTRUCTED AND SITE RUNOFF DIRECTED TOWARD THE BASINS.

4. STUMPING CAN COMMENCE AND BE GROUND INTO CHIPS. CHIPS SHALL BE STOCK PILED IN NON-GRADED AREAS. ANTI-TRACKING PADS SHALL BE INSTALLED PRIOR TO STRIPPING OF THE BALANCE OF THE SITE. THIS ANTI-TRACKING PADDING SHALL BE MAINTAINED AND REPLACED AS NECESSARY.

5. TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AS DEPICTED, AND MAINTAINED UNTIL STORM DRAINAGE STRUCTURES ALONG WITH EROSION AND SEDIMENTATION CONTROLS, HAY BALES, CHECK DAMS, SILT SACKS AND LEVEL SPREADERS HAVE BEEN INSTALLED.

6. ROADWAYS AND PARKING AREAS SHALL BE ROUGH GRADED, DIRECTING STORM WATER RUNOFF TOWARD THE SEDIMENTATION BASINS. EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AND MAINTAINED UNTIL COMPLETION OF THE PROJECT AND SITE DISTURBANCE IS STABILIZED.

7. INSTALLATION OF THE SEWER SYSTEM FROM THE EXISTING MANHOLE ON PHASE 1 AND THEN THE WATER MAIN FROM MEADOWBROOK LANE TO THE EXISTING CONNECTION PROVIDED FOR IN PHASE 1. INDIVIDUAL WATER SERVICES SHALL BE INSTALLED AS BUILDINGS ARE CONSTRUCTED.

8. UNDERGROUND TELEPHONE, CABLE AND ELECTRIC SHALL BE INSTALLED, FOLLOWED BY THE PLACEMENT OF THE PROCESS GRAVEL BASE, BITUMINOUS PAVEMENT AND BITUMINOUS CONCRETE LIP CURBING. THE SHOULDERS OF ROADWAYS AND PARKING AREAS SHALL BE GRADED, LOADED AND SEEDED, AS SPECIFIED.

9. PERMANENT STORM WATER RECHARGE BASINS SHALL BE COMPLETED AND STABILIZED IMMEDIATELY, ALONG WITH THE RAP-RAP OVERFLOW AREA SOUTH OF CATCH BASIN 7. ALL SILT SACKS SHALL BE MAINTAINED AND CHECKED AFTER EVERY STORM EVENT UNTIL THE SITE HAS BEEN COMPLETELY STABILIZED.

BEFORE AND AFTER EACH STORM EVENT AND ONCE EVERY DAY, ALL SEDIMENT AND EROSION CONTROLS WILL BE INSPECTED BY THE ENGINEER OR ENVIRONMENTAL SUPERVISOR. ANY CORRECTIVE MEASURES TO MITIGATE ENVIRONMENTAL CONCERNS WILL BE ORDERED AT THAT TIME. THERE WILL BE 150 FEET OF SILT FENCE WITH THE REQUIRED POSTS ON HAND FOR EMERGENCY SITUATIONS.

III. BUILDING SITE DEVELOPMENT

1. THE LIMITS OF DISTURBANCE SHALL BE ESTABLISHED IN THE FIELD FOR EACH PROPOSED BUILDING. THE MAXIMUM DISTURBANCE LIMITS OF 24'-30' FEET BEYOND THE PHYSICAL DIMENSIONS OF THE BUILDING AND RELATED APPURTENANCES IS RECOMMENDED.

2. TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHALL BE STOCKPILED WITH THE AREA OF DISTURBANCE IF NOT USED FOR THE ON SITE RE-GRADING. EACH STOCKPILE SHALL BE ADEQUATELY RIGGED ON THE DOWN GRADIENT SIDE WITH SEDIMENT CONTROL MATERIALS MENTIONED PREVIOUSLY.

3. ANY ADDITIONAL STOCKPILING OF LUMBER AND OTHER BUILDING MATERIALS SHALL ALSO BE CONFINED TO THE AREA OF DISTURBANCE. VEHICULAR MOVEMENT SHALL BE DIRECTED TO ESTABLISHED PARKING AREAS.

4. ONCE THE PROPOSED BUILDING IS ENCLOSED, ALL EFFORTS SHALL BE MADE TO COMPLETE ON SITE IMPROVEMENTS, SUCH AS WATER SERVICE, SEWER LATERALS, ROOF LEADER DRAINS, ETC.. THEREAFTER, AREA AROUND THE BUILDING SHALL BE FINE GRADED AND MULCHED.

IV. SEEDING AND PLANTING:

1. SEED BED PREPARATION: FINE GRADE AND RAKE SOIL SURFACE TO REMOVE STONES LARGER THAN 2 INCHES IN DIAMETER FROM LAWN AREAS. APPLY LIMESTONE AT A MINIMUM RATE OF 2 TONS PER ACRE OR 90 LBS. PER 1000 SQUARE FEET. FERTILIZE WITH 10-10-10 AT A RATE OF 300 LBS. PER ACRE OR 7.5 LBS. PER 1000 SQUARE FEET. WORK LIME AND FERTILIZER INTO SOIL UNIFORMLY TO A DEPTH OF 4 INCHES WITH A WHISK, SPRING-TOOTH HARROW OR OTHER SUITABLE EQUIPMENT FOLLOWING THE CONTOUR LINES.

2. SEED APPLICATION: APPLY GRASS SEED MIXTURE BY HAND, CYCLONE SEEDER OR HYDROSEED. INCREASE SEED MIXTURE BY 10% IF HYDROSEEDING. LIGHTLY DRAG OR TOLL THE SEEDED SURFACE TO COVER SEED. SEED MIXTURE CONSIST OF A MIXTURE OF KENTUCKY BLUEGRASS (0.45LBS/1000 SF), CREEPING RED FESCUE (0.45 LBS/1000 SF), AND PERENNIAL RYE GRASS (0.10 LBS/1000 SF). SEEDING OF PERENNIAL GRASS SEED SHALL BE DONE BETWEEN APRIL 15 AND JUNE 15, OR SEPTEMBER 1 THROUGH OCTOBER 15. IN THE EVENT THAT SEEDING CANNOT BE COMPLETED DURING THE ABOVE DATES, A TEMPORARY GRASS SEED CONSISTING OF 1.0 LBS/1000 SF OF ANNUAL RYE GRASS SHALL BE APPLIED. MOISTURE CONDITIONS SHALL BE SUPPLEMENTED FOR TEMPORARY SEEDING BETWEEN JUNE 16 AND AUGUST 31.

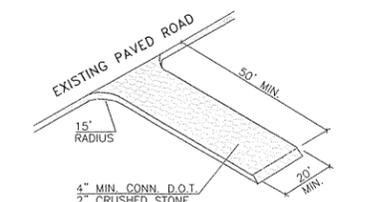
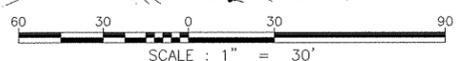
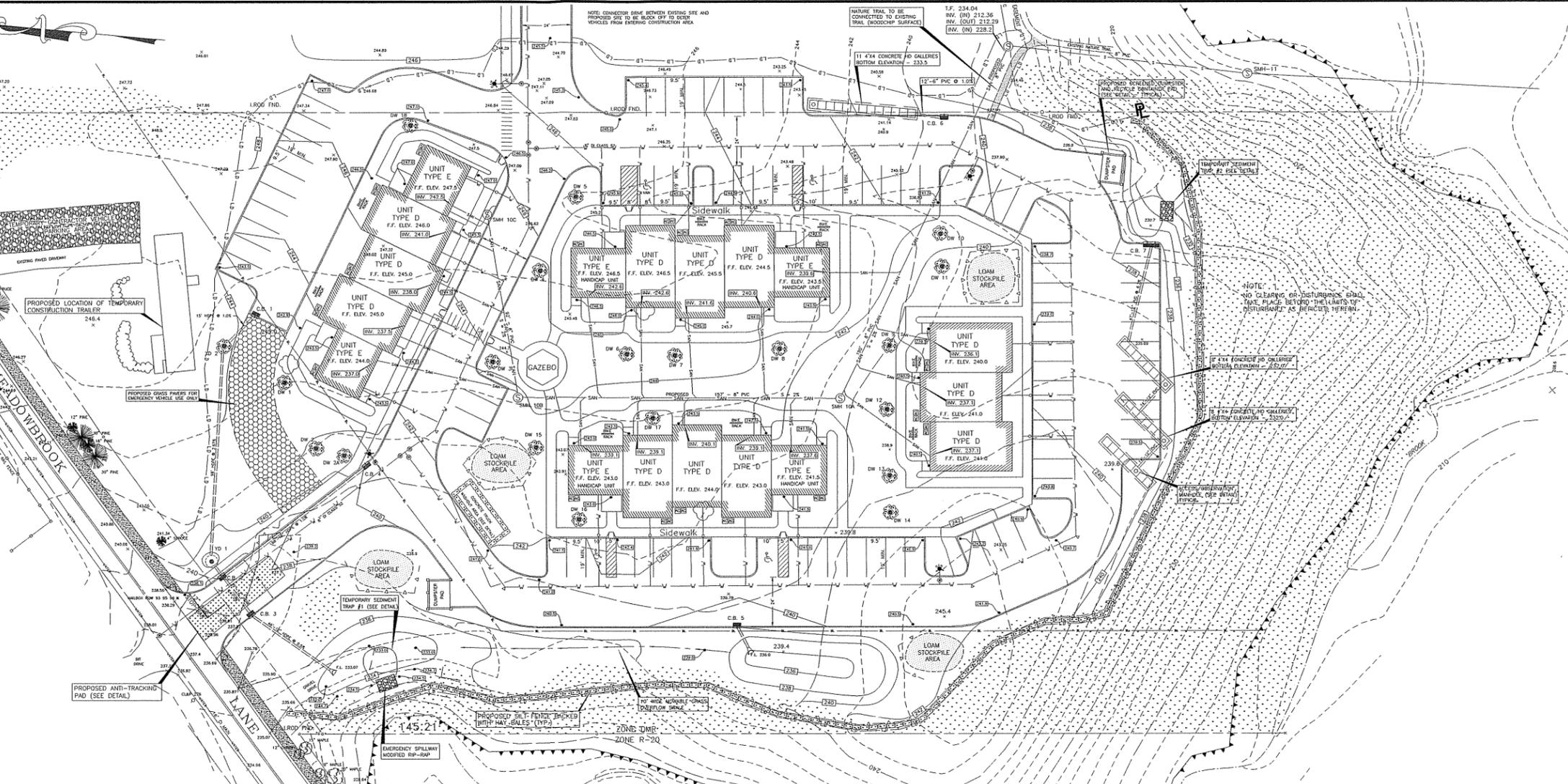
3. MULCHING: IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEEDED SURFACE WITH STRAW OR HAY AT A RATE OF 1.5 TO 2 TONS PER ACRE WHERE SLOPES EXCEED 10 PERCENT. SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH TRACK MACHINE OR DISH HARROW SET STRAIGHT UP. MULCH MATERIAL SHOULD BE SET INTO SOIL SURFACE APPROXIMATELY EVERY 2-3 INCHES.

V. PLAN IMPLEMENTATION

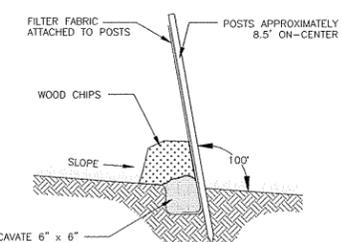
PRIOR TO THE START OF CONSTRUCTION, THERE SHALL BE A PRE-CONSTRUCTION MEETING WITH THE TOWN ZONING AGENT, THE TOWN WETLANDS AGENT, THE SITE CONTRACTOR AND THE CONTRACTOR'S PROFESSIONAL SOIL EROSION AND SEDIMENT CONTROL SPECIALIST TO DISCUSS THE PLAN, INSPECTION PROCEDURES AND REPORT REQUIREMENTS.

REGULAR INSPECTION OF THE SITE SHALL BE PERFORMED TO ENSURE COMPLIANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN, AND A SEDIMENT AND EROSION MONITORING REPORT MAY BE REQUIRED BY THE TOWN OF MANSFIELD ZONING AGENT AND INLAND WETLAND AGENT AS DEEMED NECESSARY.

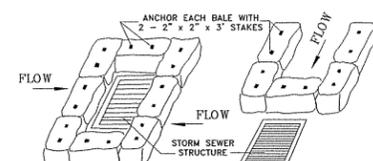
DURING CONSTRUCTION IT SHALL BE THE RESPONSIBILITY OF ROBERT MAGI (TEL. NO. (203) 692-5222) TO ENSURE THE IMPLEMENTATION OF THIS SEDIMENT & EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE SITE OF THE OBJECTIVES OF THE PLAN, NOTIFYING THE WETLAND AGENT OR HIS DESIGNATEE OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF AND WHEN SUCH TRANSFER IS APPROPRIATE. ANY MATERIAL REMOVED FROM SITE AND DEPOSITED IN MANSFIELD MUST BE IN FULL COMPLIANCE WITH APPLICABLE ZONING AND INLAND WETLAND REQUIREMENTS.



ANTI-TRACKING PAD DETAIL
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE



HAY BALE INSTALLATION AT CATCH BASIN
NO SCALE

--- LEGEND ---

- PROPERTY LINE
- EXISTING TREE LINE
- 2' CONTOUR INTERVAL
- 10' CONTOUR INTERVAL
- PROPOSED CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- WETLAND SOIL LIMITS
- BUILDING LINE
- PROPOSED CATCH BASIN
- STORM DRAINAGE PIPE (15" HDPE)
- PROPOSED DRY WELL
- PROPOSED BITUMINOUS CURBING
- PROPOSED SILT FENCE
- LIMITS OF DISTURBANCE
- PROPOSED HAY BALES
- AREA TO BE UNDISTURBED

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

APPROVED BY THE DIRECTOR OF HEALTH

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

CHAIRMAN	DATE
CHAIRMAN	DATE
DIRECTOR	DATE
DIRECTOR	DATE

EROSION, SEDIMENTATION & MAINTENANCE PLAN

PREPARED FOR
UNIGLOBE INVESTMENT LLC

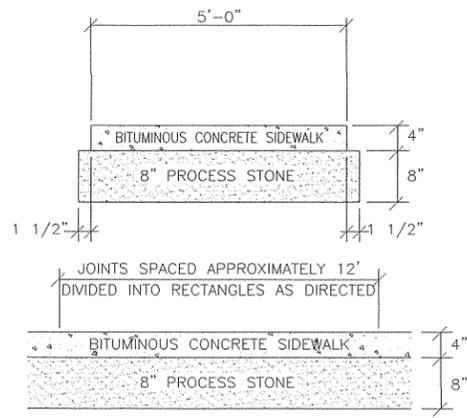
91 & 93 MEADOWBROOK LANE
MANSFIELD CENTER, CONNECTICUT
SCALE: 1" = 30' DATE: JANUARY 8, 2016
REVISED: APRIL 11, 2016

ENGINEERING & SURVEYING, LLC

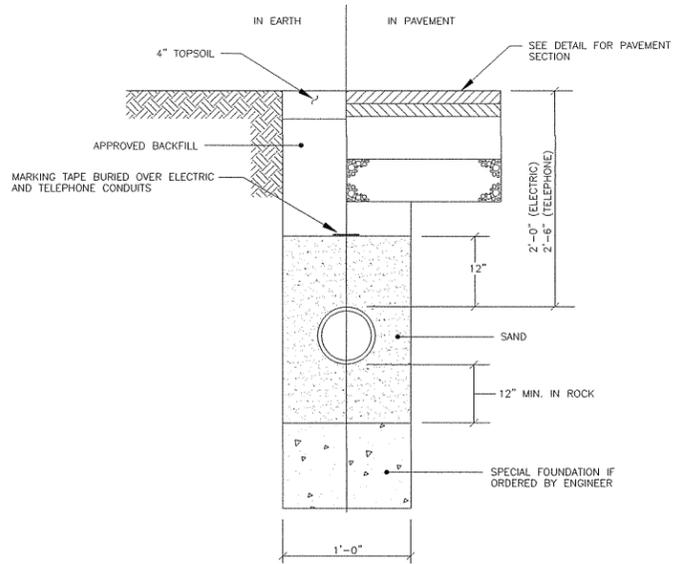
132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1357 FAX (860)456-1840
JOB NO. 215049

DATUM

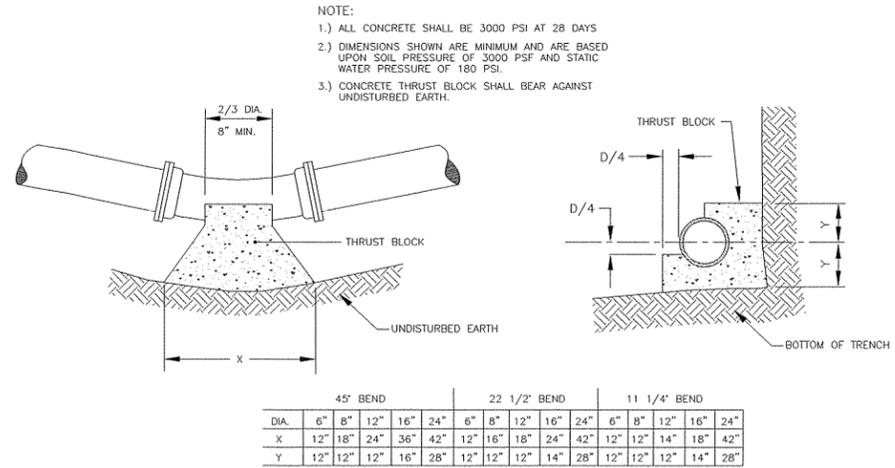
CHECKED BY: _____ CORRECTIONS BY: _____



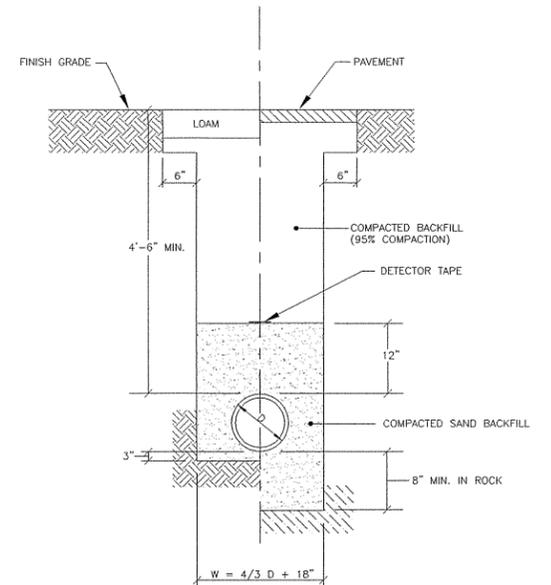
5' BITUMINOUS CONCRETE SIDEWALK
NO SCALE



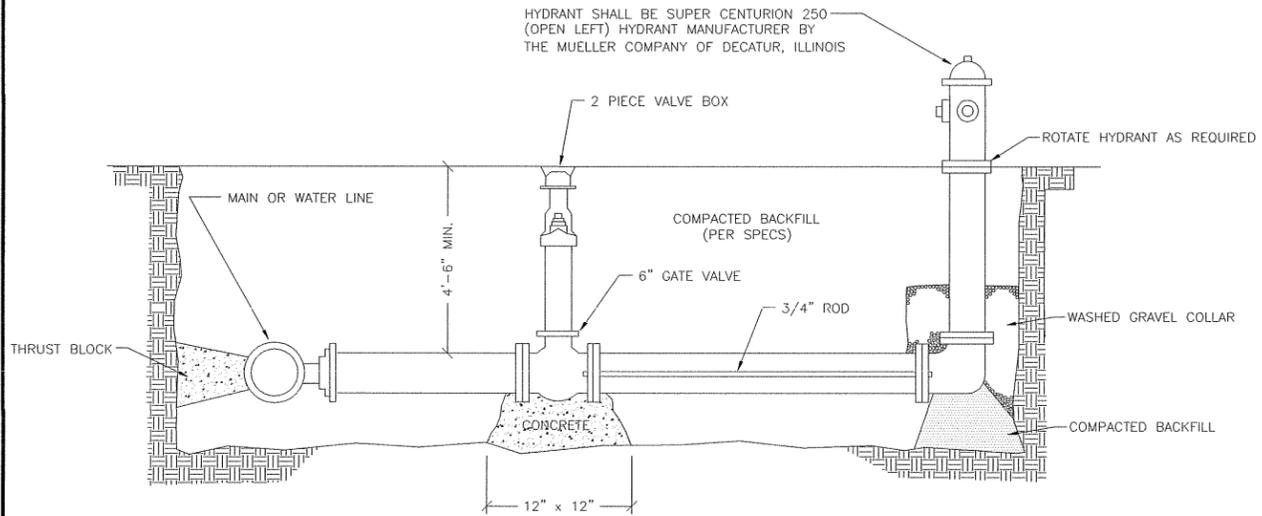
ELECTRICAL & TELEPHONE PVC
CONDUIT TRENCH DETAIL
NOT TO SCALE



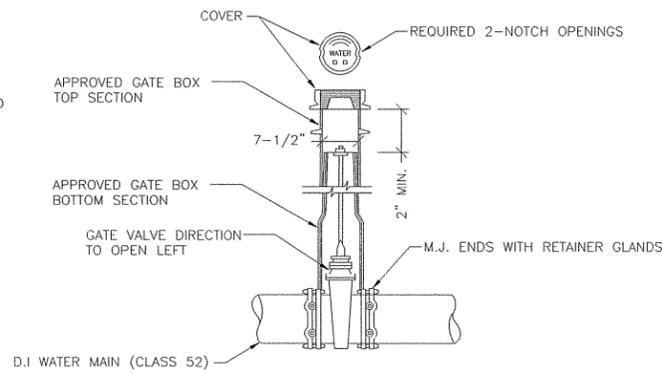
THRUST BLOCK DETAIL
NOT TO SCALE



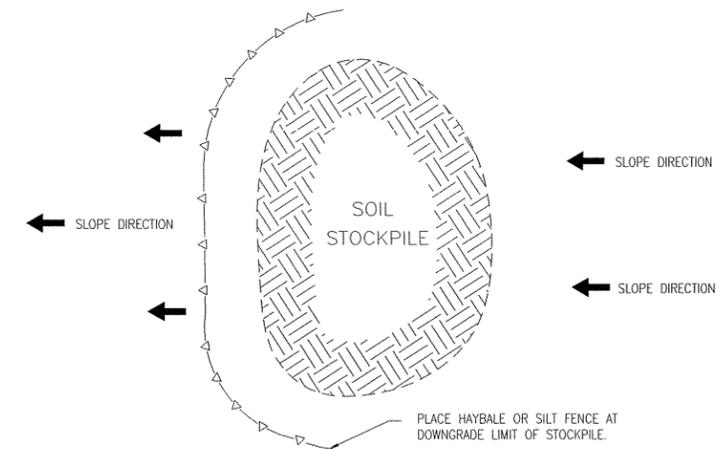
TYPICAL WATER MAIN TRENCH DETAIL
NOT TO SCALE



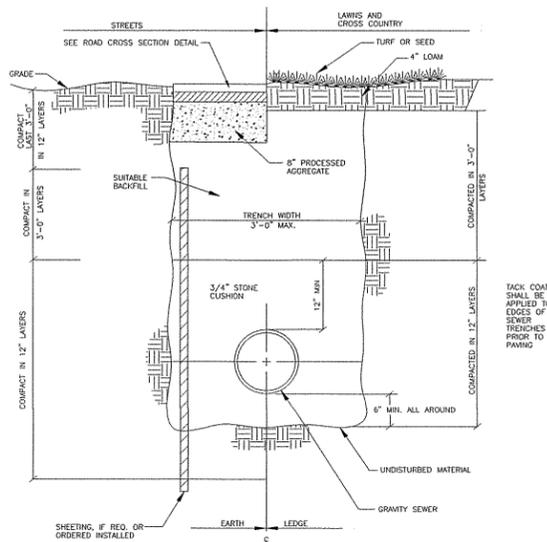
FIRE HYDRANT ASSEMBLY
NO SCALE



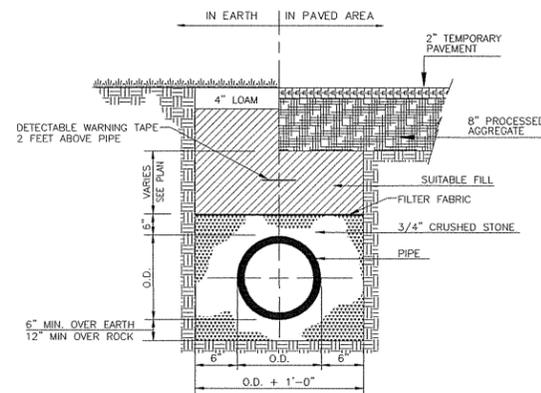
12" OR LESS VERTICAL GATE VALVE
AND GATE BOX (OPEN LEFT)
NO SCALE



STOCKPILE EROSION PROTECTION DETAIL
NOT TO SCALE



TYPICAL GRAVITY SEWER TRENCH SECTION DETAIL
NOT TO SCALE



STORM SEWER TRENCH SECTION
NO SCALE

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____
APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____
APPROVED BY THE DIRECTOR OF HEALTH

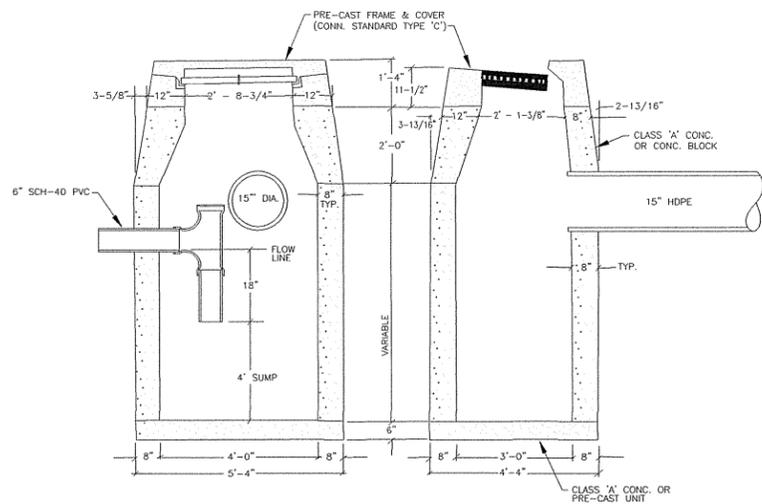
DIRECTOR _____ DATE _____
APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

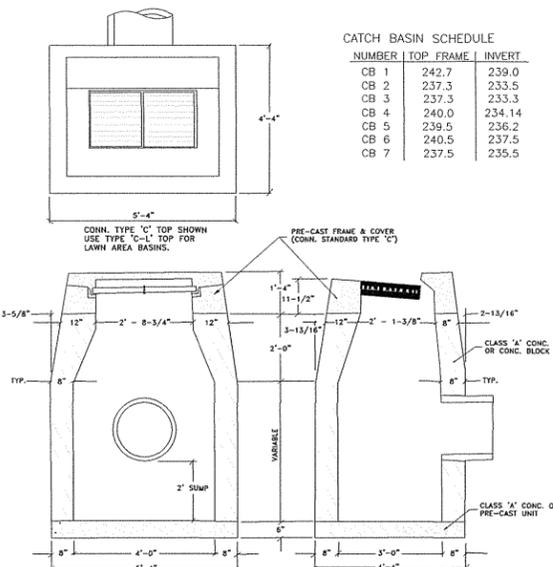
DETAIL SHEET
PREPARED FOR
UNIGLOBE INVESTMENT LLC
91 & 93 MEADOWBROOK LANE
MANSFIELD CENTER, CONNECTICUT
SCALE: AS NOTED DATE: JANUARY 8, 2016
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ENGINEERING & SURVEYING, LLC
132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
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CHECKED BY: _____ CORRECTIONS BY: _____



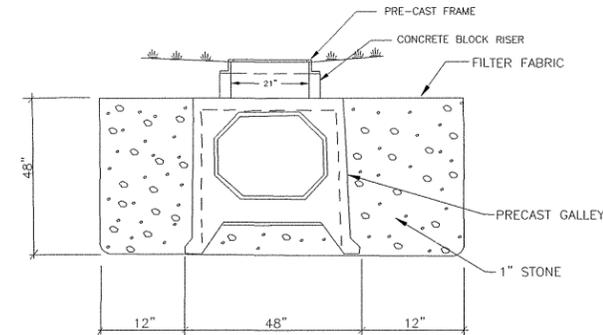
CONN. STATE STANDARD CATCH BASIN
NO SCALE



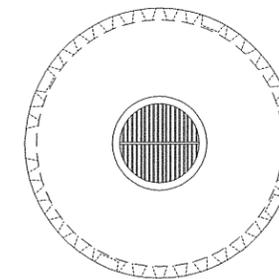
CONN. STATE STANDARD CATCH BASIN
NO SCALE

CATCH BASIN SCHEDULE

NUMBER	TOP FRAME	INVERT
CB 1	242.7	239.0
CB 2	237.3	233.5
CB 3	237.3	233.3
CB 4	240.0	234.14
CB 5	239.5	236.2
CB 6	240.5	237.5
CB 7	237.5	235.5

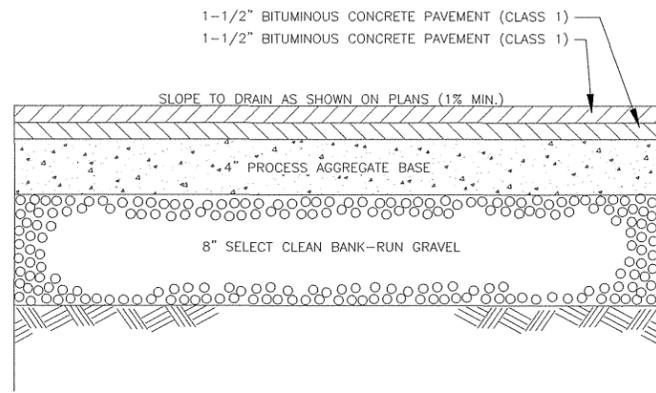


GALLERY CROSS SECTION
NO SCALE

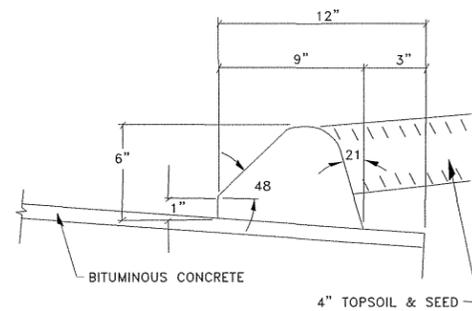


DRY WELL/YARD DRAIN SCHEDULE

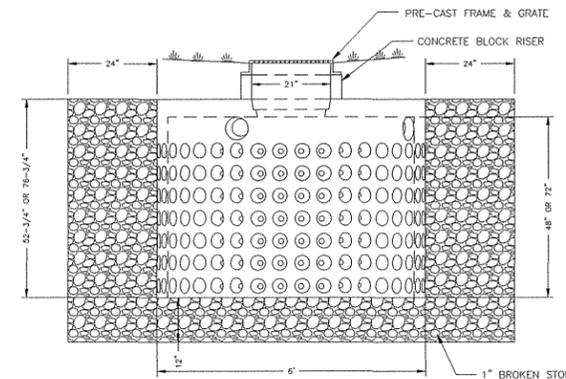
NUMBER	SIZE	TOP FRAME	BOTTOM ELEV.	INVERT
DW 1	6'Dx4'H	242.8	237.6	-
DW 2	6'Dx4'H	241.5	235.8	241.34
DW 2A	6'Dx4'H	241.0	235.8	241.34
DW 3	6'Dx6'H	242.8	235.4	-
DW 4	6'Dx4'H	242.1	236.9	-
DW 5	6'Dx4'H	246.0	240.8	-
DW 6	6'Dx4'H	242.5	237.3	-
DW 7	6'Dx4'H	242.5	237.3	-
DW 8	6'Dx4'H	241.8	236.6	-
DW 9	6'Dx6'H	239.5	230.1	235.64
DW 10	6'Dx6'H	241.5	231.6	237.14
DW 11	6'Dx6'H	239.5	231.6	237.14
DW 12	6'Dx6'H	240.0	230.1	235.64
DW 13	6'Dx6'H	240.0	230.1	235.64
DW 14	6'Dx6'H	240.5	230.1	235.64
DW 15	6'Dx4'H	243.0	237.8	-
DW 16	6'Dx4'H	241.8	236.4	-
DW 17	6'Dx4'H	242.5	237.3	-
DW 18	6'Dx4'H	247.3	242.1	-
YD 1	6'Dx6'H	237.8	230.4	236.20
YD 2	6'Dx6'H	242.5	235.1	238.86



PAVEMENT DETAIL
NOT TO SCALE



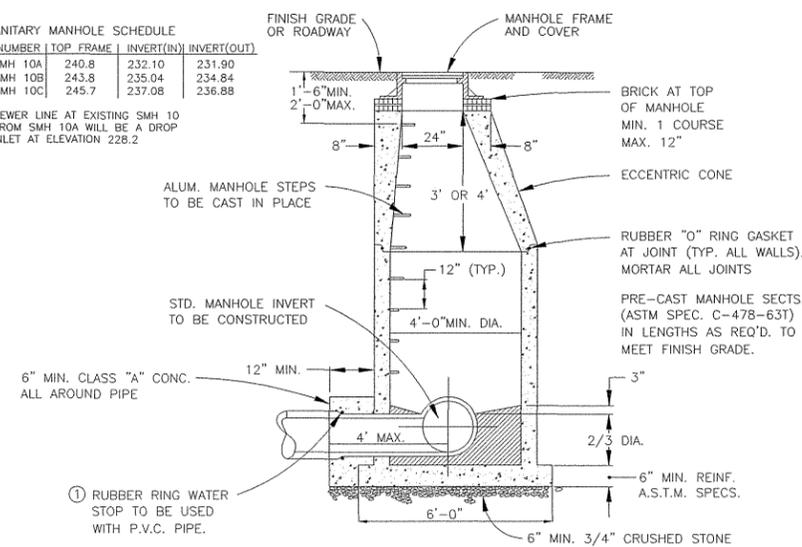
CURB DETAIL
NO SCALE



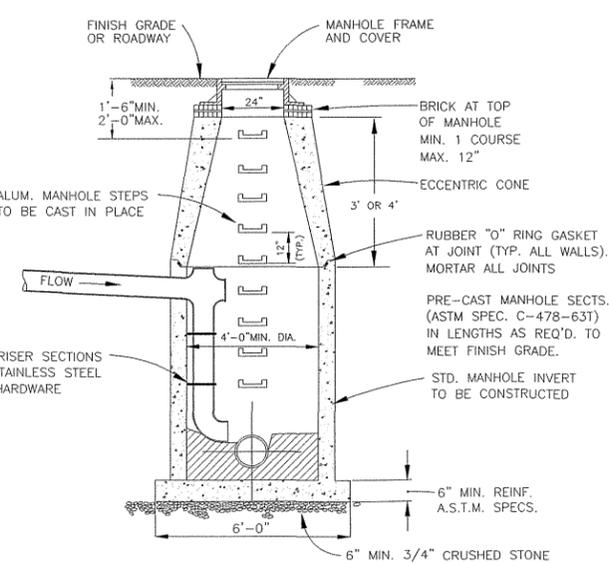
SANITARY MANHOLE SCHEDULE

NUMBER	TOP FRAME	INVERT(IN)	INVERT(OUT)
SMH 10A	240.8	232.10	231.90
SMH 10B	243.8	235.04	234.84
SMH 10C	245.7	237.08	236.88

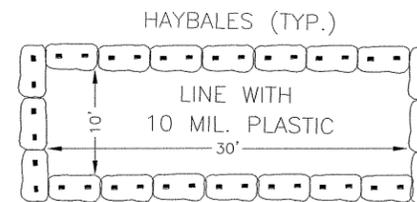
SEWER LINE AT EXISTING SMH 10 FROM SMH 10A WILL BE A DROP INLET AT ELEVATION 228.2



PRECAST MANHOLE DETAIL
NOT TO SCALE



PRECAST DROP MANHOLE DETAIL
NOT TO SCALE



CONCRETE TRUCK WASHOUT DETAIL
NO SCALE



- MANHOLE SHALL BE WATERTIGHT. IN LIEU OF PARING, TWO COATS OF BITUMINOUS WATERPROOFING MAY BE BRUSHED ON OR SPRAYED ON. INERTOL, TREMCO OR APPROVED EQUAL MAY BE USED TO OBTAIN DESIRED RESULTS. DO NOT BACKFILL UNTIL LAST COAT IS DRY.
- CONSTRUCTION OF ALL SANITARY FACILITIES TO BE CONSTRUCTED TO THE MANSFIELD DEPARTMENT OF PUBLIC WORKS ENGINEERING STANDARDS AND SPECIFICATIONS.

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____
APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____
APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____
APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

DETAIL SHEET
PREPARED FOR
UNIGLOBE INVESTMENT LLC

91 & 93 MEADOWBROOK LANE
MANSFIELD CENTER, CONNECTICUT
SCALE: AS NOTED DATE: JANUARY 8, 2016
REVISED: APRIL 11, 2016

DATUM

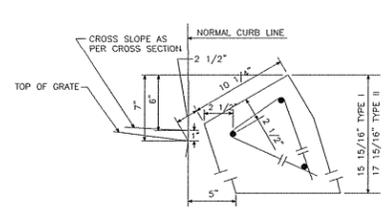
ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1357 FAX (860)456-1840

JOB NO. 215049

CHECKED BY: _____ CORRECTIONS BY: _____

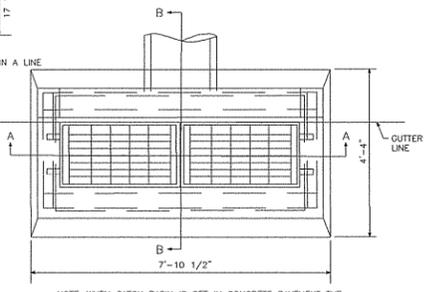
SHEET 8 OF 11



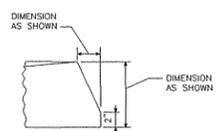
NOTES
 FOR DETAILS OF STEEL FRAME & GRATE SEE STANDARD SHEET NO. 507-K OR 507-L. TWO FRAMES & GRATES REQUIRED FOR EACH CATCH BASIN.
 WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP TO BE INCREASED TO 12" THICKNESS, INSIDE DIMENSIONS TO REMAIN THE SAME.
 ALL STEEL, EXCEPT REINFORCING BARS, SHALL BE GALVANIZED IN ACCORDANCE WITH M.06.03.
 ALL BARS SHALL HAVE 2" COVER.
 ALL STRAIGHT REINFORCING BARS WILL BE #4 BARS.
 ALL STIRRUPS WILL BE #3 BARS 9" C.C. TYP.

TO BE USED WHEN CURB INLET IS CONSTRUCTED IN A LINE OF GRANITE SLOPE CURBING 6" HIGH.

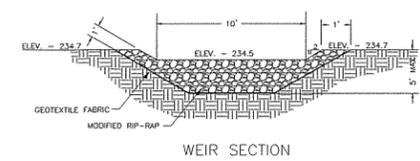
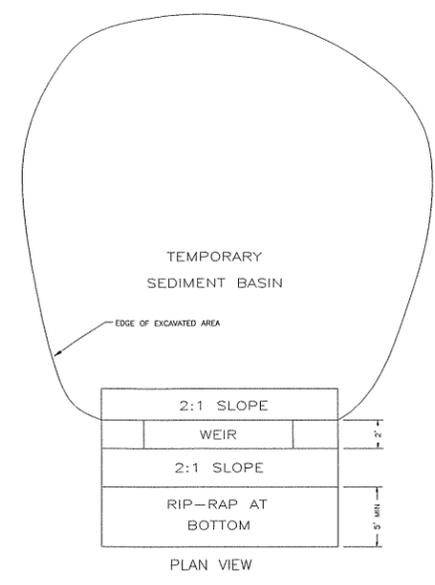
DETAIL OF CURB INLET GRANITE SLOPE CURB TYPE



NOTE: WHEN CATCH BASIN IS SET IN CONCRETE PAVEMENT THE 1/2" SLOPE ON THE TOP SURFACE SHALL BE CHANGED TO MATCH ADJOINING PAVEMENT.

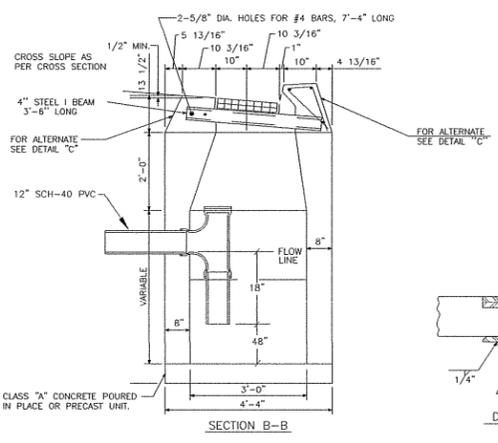
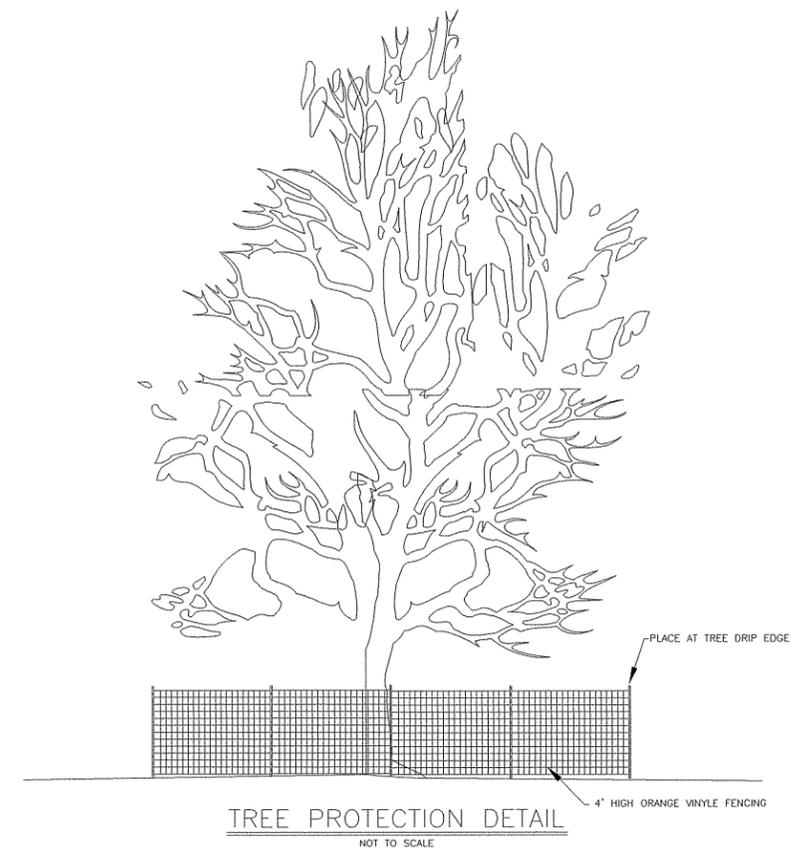


DETAIL "C" ALTERNATE CONSTRUCTION OF TYPE II TOP



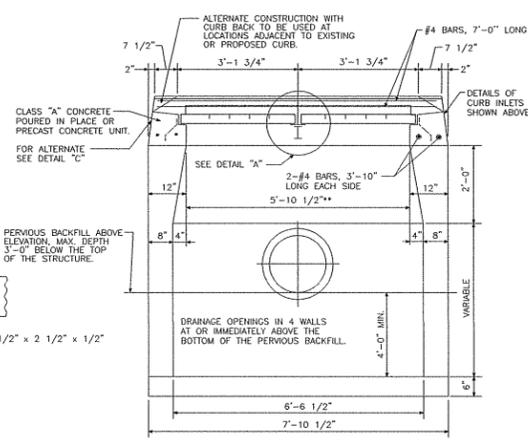
TEMPORARY SEDIMENT TRAP #1 DETAIL

NOT TO SCALE



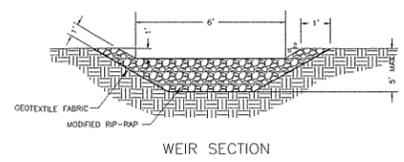
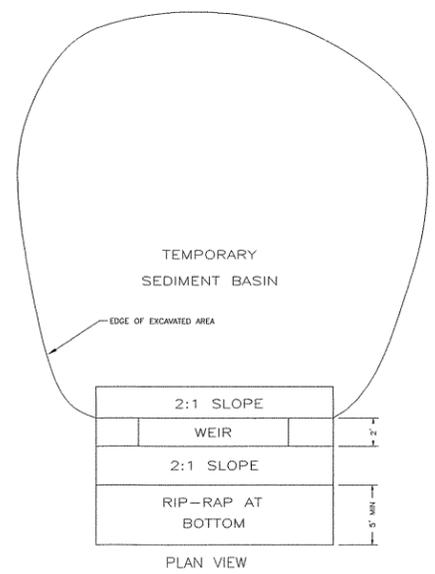
SECTION B-B

WHEN THIS DIMENSION EXCEEDS 10 FEET, CATCH BASIN WILL BE CLASSIFIED AS TYPE "C" CATCH BASIN DOUBLE GRATE TYPE II OVER 10 FT. DEEP.



SECTION A-A

WHERE PRECAST CONCRETE UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN.



TEMPORARY SEDIMENT TRAP #2 DETAIL

NOT TO SCALE

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

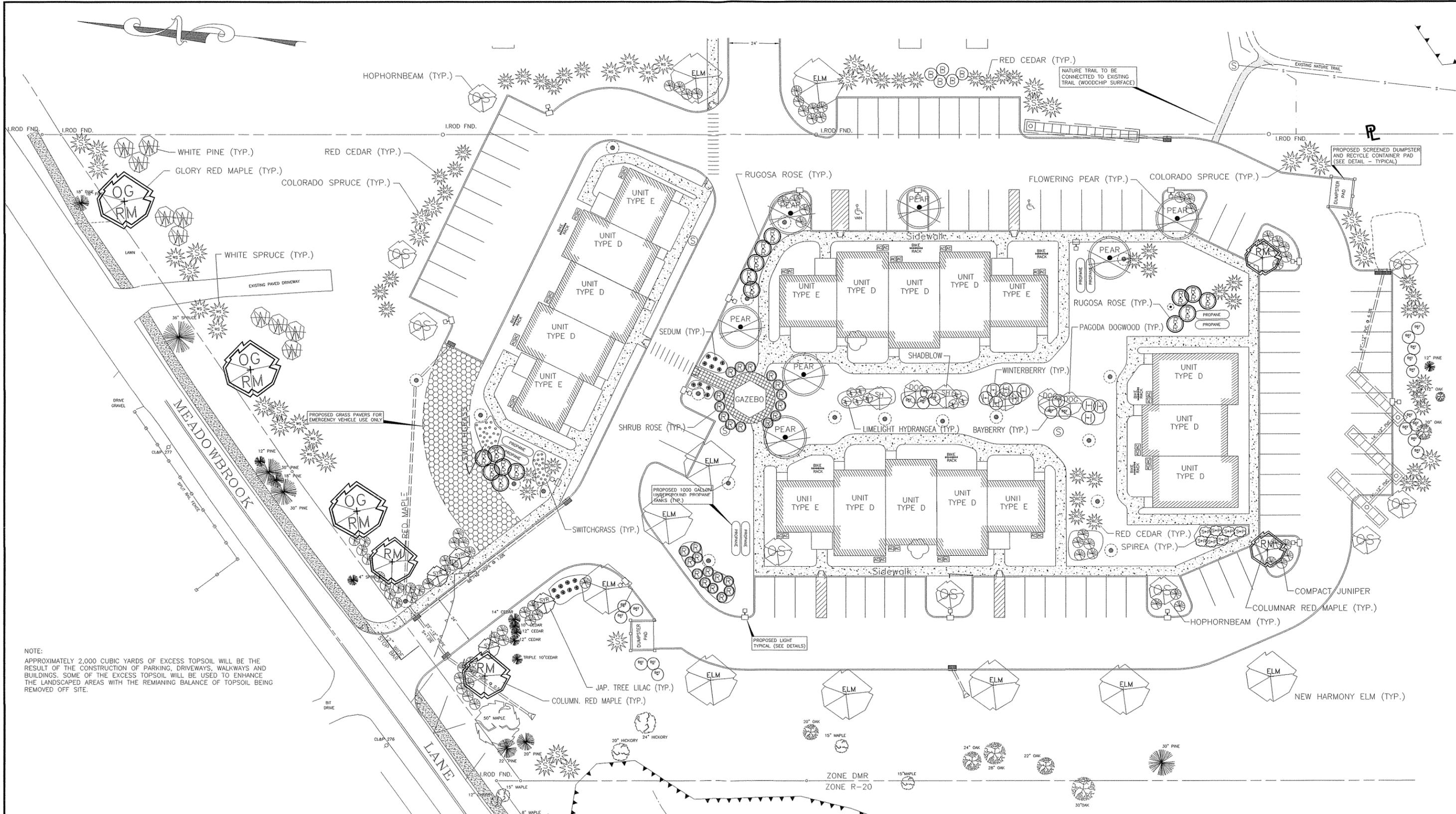
DIRECTOR _____ DATE _____

DETAIL SHEET
 PREPARED FOR
UNIGLOBE INVESTMENT LLC
 91 & 93 MEADOWBROOK LANE
 MANSFIELD CENTER, CONNECTICUT
 SCALE: AS NOTED DATE: JANUARY 8, 2016
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DATUM ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
 MANSFIELD CENTER, CT 06250
 TEL (860)456-1357 FAX (860)456-1840
 JOB NO. 215049

CHECKED BY: _____ CORRECTIONS BY: _____



NOTE:
 APPROXIMATELY 2,000 CUBIC YARDS OF EXCESS TOPSOIL WILL BE THE RESULT OF THE CONSTRUCTION OF PARKING, DRIVEWAYS, WALKWAYS AND BUILDINGS. SOME OF THE EXCESS TOPSOIL WILL BE USED TO ENHANCE THE LANDSCAPED AREAS WITH THE REMAINING BALANCE OF TOPSOIL BEING REMOVED OFF SITE.

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____
 APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____
 APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____
 APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____



LANDSCAPE ARCHITECT
 J. ALEXOPOULOS, LAND. ARCH.
 CT LIC. NO. 550

LANDSCAPE-LIGHTING-SIGN PLAN
 PREPARED FOR
ARTISAN DEVELOPMENT, LLC

91 & 93 MEADOWBROOK LANE
 MANSFIELD CENTER, CONNECTICUT
 SCALE: 1" = 20' DATE: OCTOBER 12, 2015
 REVISED: APRIL 11, 2016

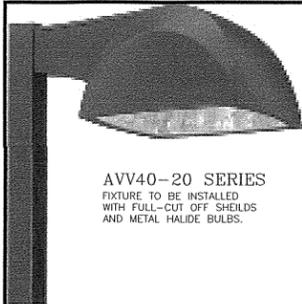
SHEET 10 OF 11



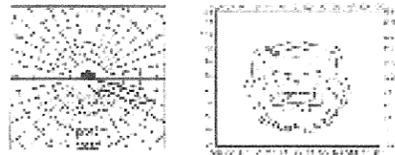
ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
 MANSFIELD CENTER, CT 06250
 TEL (860)456-1357 FAX (860)456-1840
 JOB NO. 215049

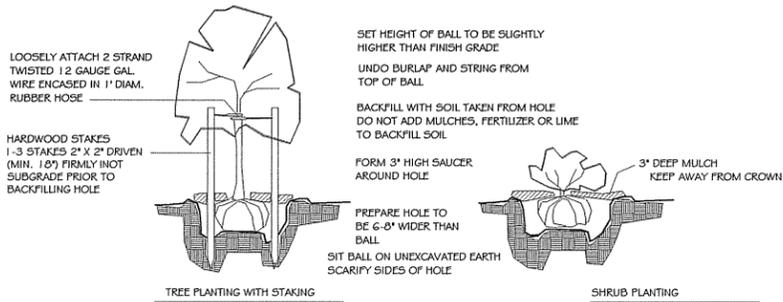
CHECKED BY: _____ CORRECTIONS BY: _____



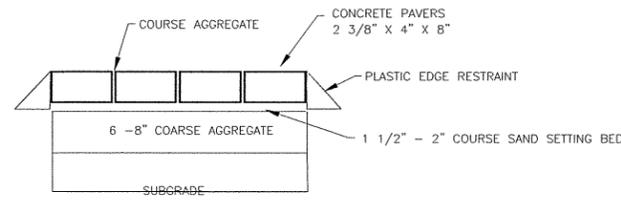
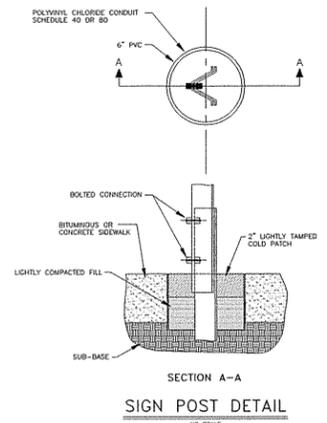
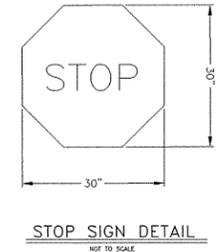
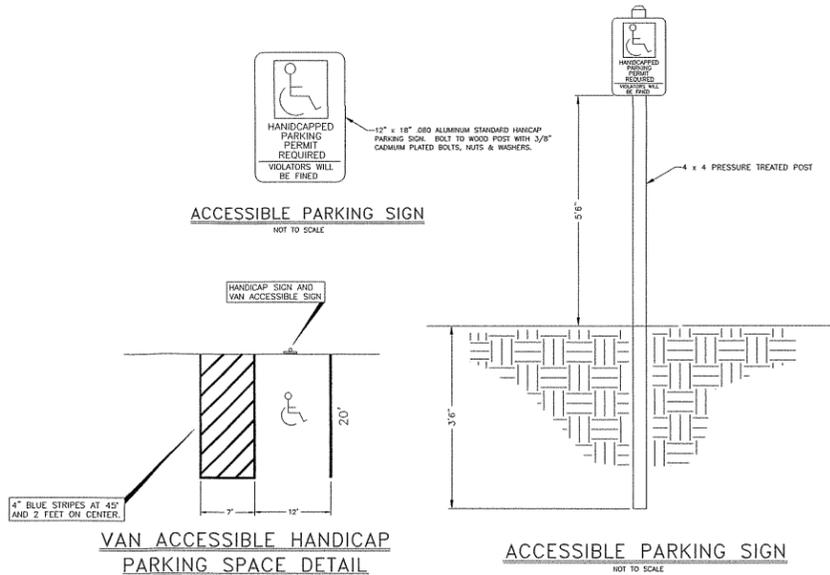
AVV40-20 SERIES
FIXTURE TO BE INSTALLED
WITH FULL-CUT OFF SHIELDS
AND METAL HALIDE BULBS.



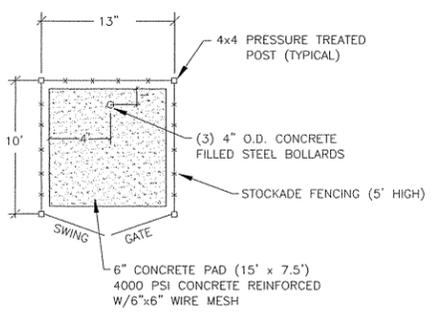
SITE LIGHTING
NOT TO SCALE



PLANTING DETAILS - NOT TO SCALE



BRICK WALKWAY DETAIL
NOT TO SCALE



TRASH ENCLOSURE DETAIL
NOT TO SCALE

MEADOWBROOK GARDENS
LANDSCAPE MANAGEMENT

TREES AND SHRUBS, LAWNS
ALL SHRUB MASSES TO BE IN BEDS WITH NO GREATER THAN 3" DEPTH OF PINE BARK MULCH.

A DEPTH OF 3" OF THIS MULCH SHOULD BE MAINTAINED IN SUBSEQUENT YEARS. NO MULCH SHOULD BE PILED AGAINST THE TRUNKS OF TREES OR THE BASE OF ANY SHRUB.

PRUNING SHOULD ONLY BE DONE TO REMOVE ANY DEAD OR DAMAGED BRANCHES ON BOTH TREES AND SHRUBS. PLANTS ARE NOT TO BE SHAPED.

IN THE YEAR FOLLOWING INITIAL PLANTING AND IN THE SPRING, ALL PLANTS TO BE SIDE DRESSED WITH ORGANIC BASED FERTILIZERS.

PESTICIDES SHOULD ONLY BE USED WHEN A PROBLEM IS SEVERE. REGULAR INSPECTION SHOULD BE DONE TO BE ABLE TO TREAT A PROBLEM AT ITS EARLIEST STAGES. INTEGRATED PEST MANAGEMENT BEST PRACTICES SHOULD BE USED.

LAWNS ARE TO BE FERTILIZED USING LOW MAINTENANCE FREQUENCY, TIME OF YEAR AND RATE. FERTILIZING SHOULD ONLY BE DONE ACCORDING TO ANNUAL SOIL TESTING AND RECOMMENDATIONS ARE TO BE FOLLOWED. ONLY ORGANIC BASED FERTILIZERS ARE TO BE USED. LIME SHOULD BE APPLIED ACCORDING TO SOIL TEST RESULTS.

MOWING HEIGHT TO BE 2 1/2".

LAWN MIXTURE TO BE A LOW MAINTENANCE MIX SUITABLE FOR DROUGHTY, WELL DRAINED SOILS.

PLANTING SCHEDULE

Symbol Code	Name/ Scientific Name	Size	Quantity
RM	ACER RUBRUM 'COLUMNARE'/ COLUMNAR RED MAPLE	2 1/2" - 3" CAL.	4
OG RM	ACER RUBRUM 'OCTOBER GLORY'/ OCTOBER GLORY RED MAPLE	2 1/2" - 3" CAL.	3
SH	AMELANCHIER CANADENSIS/ SHADBLOW	6 - 7'	2
DOG	CORNUS ALTERNIFOLIA/ PAGODA DOGWOOD	2 1/2" - 3" CAL.	4
OS	OSTRYA VIRGINICA/ HOPHORNBEAM	2 1/2" - 3" CAL.	8
PEAR	PYRUS CALLERYANA 'CHANTICLEER'/ FLOWERING PEAR	2 1/2" - 3" CAL.	6
SYR	SYRINGA RETICULATA/ JAPANESE TREE LILAC	2 1/2" - 3" CAL.	4
ELM	ULMUS AMERICANA 'NEW HARMONY'/ NEW HARMONY ELM	2 1/2" - 3" CAL.	10
RC	JUNIPERUS VIRGINIANA/ RED CEDAR	6 - 7'	38
WS	PICEA GLAUCA/ WHITE SPRUCE	6 - 7'	9
CS	PICEA PUNGENS/ COLORADO SPRUCE	6 - 7'	28
WP	PINUS STROBUS/ WHITE PINE	6 - 7'	9
L	HYDRANGEA PANICULATA 'LIMELIGHT'/LIMELIGHT HYDRANGEA	18 - 21"	8
H	ILEX VERTICILLATA/ WINTERBERRY	18 - 21"	9
J	JUNIPERUS CHIN. PFITZ. COMPACTUM/ COMPACT PFITZER JUNIPER	18 - 21"	75
B	MYRICA PENNSYLVANICUM/ BAYBERRY	18 - 21"	26
R	ROSA 'KNOCKOUT'/ KNOCKOUT SHRUB ROSE	18 - 21"	25
R	ROSA RUGOSA/ RUGOSA ROSE	18 - 21"	16
S+P	SPIRAEA BUMALDA 'ANTHONY WATERER'/ SPIREA	18 - 21"	7
S	SEDUM 'BRILLIANT'/ SEDUM	1 GAL.	18
P	PANICUM VIRGATUM 'RUBY RIBBONS'/ SWITCHGRASS	PLUGS	40

LANDSCAPE-LIGHTING-SIGN DETAILS
PREPARED FOR
ARTISAN DEVELOPMENT, LLC

91 & 93 MEADOWBROOK LANE
MANSFIELD CENTER, CONNECTICUT
SCALE: AS NOTED DATE: JANUARY 8, 2016
REVISED: APRIL 11, 2016

SHEET 11 OF 11

DATUM ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD
MANSFIELD CENTER, CT 06250
TEL (860)456-1357 FAX (860)456-1840
JOB NO. 215049

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN _____ DATE _____

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR _____ DATE _____

LANDSCAPE ARCHITECT

J. ALEXOPOULOS, LAND. ARCH.
CT LIC. NO. 550

CHECKED BY: _____ CORRECTIONS BY: _____

ARCHITECTURAL NARRATIVE:

A.5 Meadowbrook Gardens, though constructed in two phases, is a unified village of residential living that offers unique variations and choices for its residents through its "town green" and "main street" layout schemes.

The Project is consistent with Article 10, Section R in that it satisfies a Town need for additional residential inventory while accomplishing this through an architectural design solution that: uses varied ensembles of massing, varies density, minimizes impact on Meadowbrook by internalizing access ways in a "village" pattern, modulates facade frontage on internal access ways, and provides contributing architectural characteristics through articulation of siding, roofing, fenestration style, dormers and shutters, all enhanced by a complementing landscape plan.

A.5.3.D The project provides a Community/Office/Maintenance Building in the Phase I area near the entrance on the west side of the main access drive.

B.4.N The project is consistent with Energy Performance requirements in several ways. Its master plan implements both a "town green" (Phase I) and "main street" (Phase II) design that: 1) reduces heat-island effect, 2) mitigates impervious area and enhances drainage performance, 3) provides organized infrastructure distribution, and 4) minimizes impact on neighboring properties by internalizing the Project massing through the design of the access drive of Phase I that articulates the "green" and the center "mall" of Phase II that articulates a "main street-scape".

A.4.J The Meadowbrook collective Project contributes to Mansfield by satisfying a residential housing need but doing so in a way that incorporates a sound design approach by: creating design fabric through its town green and main street themes; minimizes infra-structural impact on the Town, and enhances resident connection to the Town's natural beauty through public walking pathways, providing a safe walkway along Meadowbrook, and provision of walkability and bicycle considerations.

This Site Plan was prepared by the Architect, Mark A. Comeau, and references map information and data provided on the Drawing titled, "Site Plan", prepared by the Project Engineer, Ed Pelletier - Datum Engineering and showing property geometry, structures, parking, and other characteristics of the proposed Meadowbrook Gardens Project Phase II.

DRAWING INDEX

- A0.1 Architectural Master Plan
- A0.2 Architectural Site Plan - Phase II
- A1.1 Architectural Building Design (Block)
- A1.2 Architectural Building Design (Block)
- A1.3 Architectural Floor Plans (D & E Block)
- A1.4 Architectural Elevations (D & E Block)
- A1.5 Enlarged Floor Plan Units D & E

UNIT DISTRIBUTION:

UNIT D DESIGN (1 Bedroom 650 SF, 2-Stories):	12 UNITS
UNIT E DESIGN (2 Bedrooms 936 SF, 2-Stories):	24 UNITS
TOTAL	36 UNITS

Parking Spaces: 72

MARK A. COMEAU



ARCHITECT

ARCHITECTURE | DESIGN | PLANNING

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Architectural Designs
MEADOWBROOK GARDENS

Phase II

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prepared for

Artisan Development, LLC

JACK YANG

Issued for

April 15, 2016

P&Z Approvals

No.	Date	Revision
0.1-A	4-8-15	Prelim. Comments
0.1-B	6-12-15	Review Comments
0.1-C	6-28-15	Per Mta w/Planning
0.1-D	10-15-15	Per Team Review
0.1-E	12-05-15	Side Walks
0.1-F	12-24-15	Unit Floor Plans
0.1-G	2-1-16	Total Unit #
0.1-H	4-15-16	PZ, ADRB Review



Architectural Master Plan
Phases I & II

(For Diagrammatic Purposes - See Engineering Drawings)

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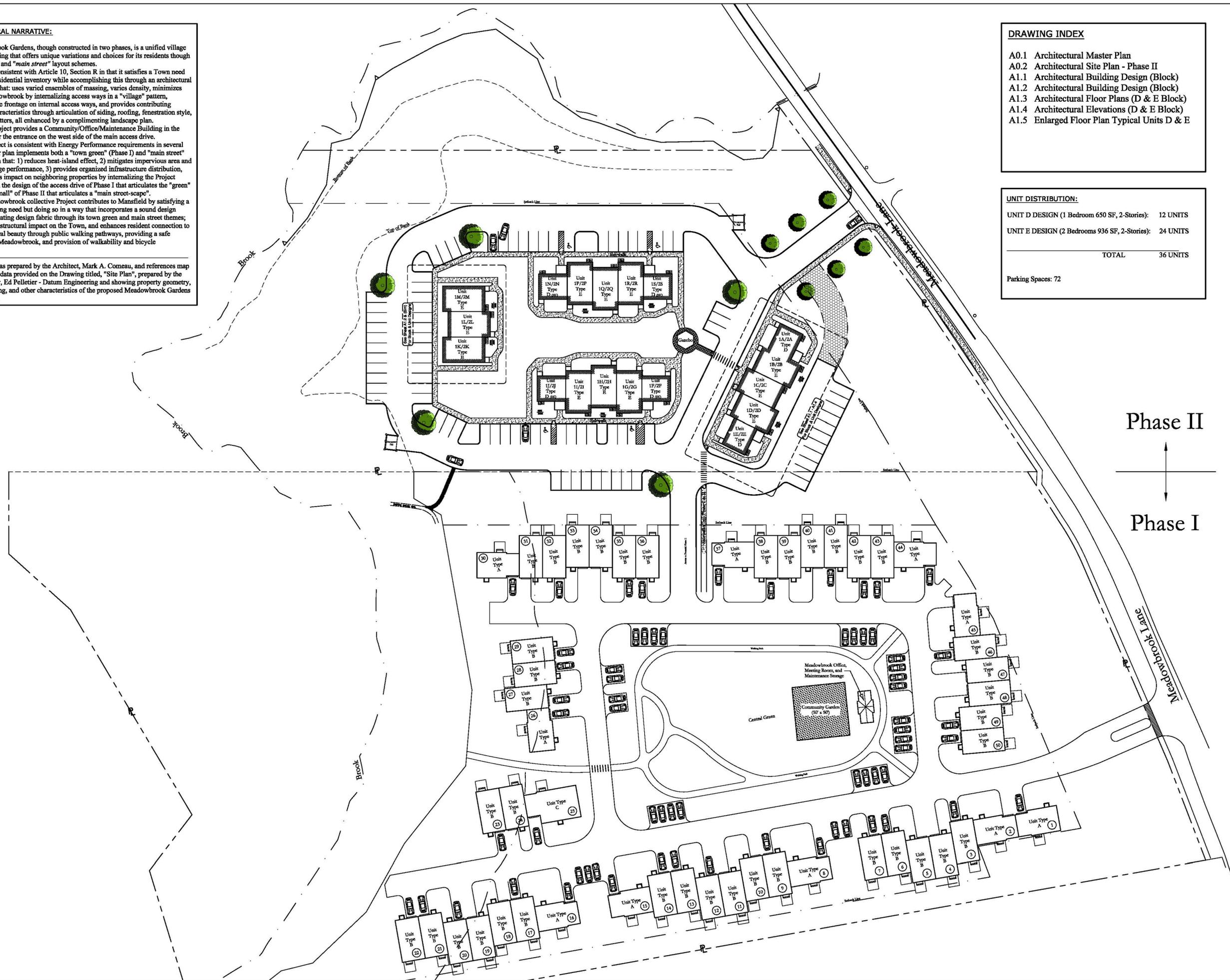
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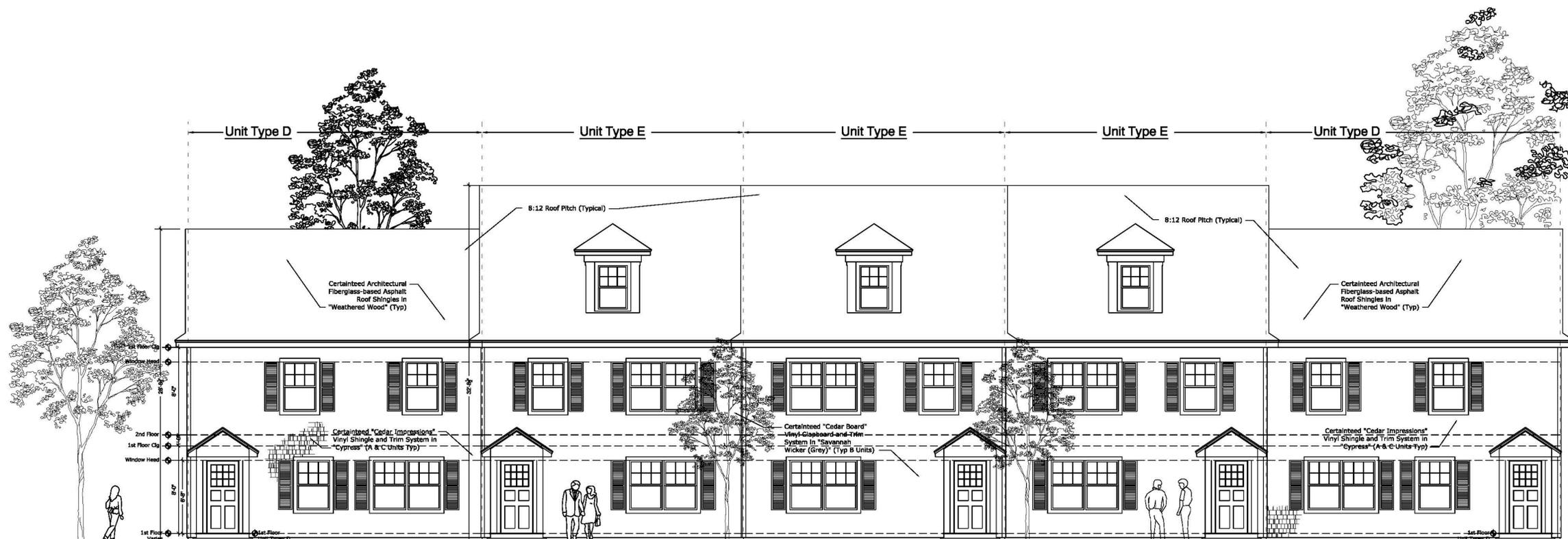
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Date:	4-15-16
Project No.:	0115-B
Drawn By:	MAC
Scale:	1" = 40' - 0"
Application:	AutoCAD 2014
File No.:	0115



A0.1



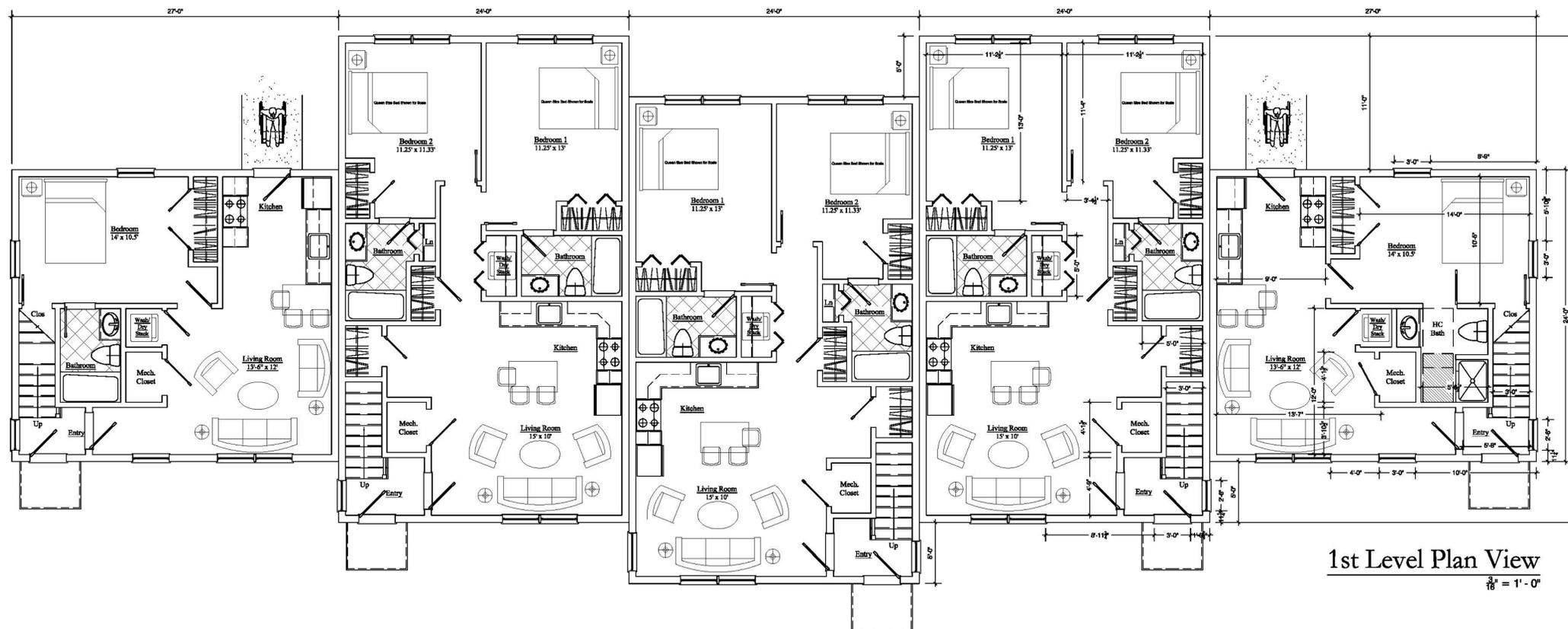


Front Elevation View

Same Elevations - All Blocks $\frac{3}{16}'' = 1' - 0''$

ARCHITECTURAL NARRATIVE (Units D & E):

- Meadowbrook Gardens Apartments Phase II is a proposed residential village laid out in the fashion of a traditional New England "Main Street". The architecture is built from forms "fronting" a wide brick mall using consistent unit design and massing that reflects a more historic streetscape.
- Roofing (two shades to vary within unit blocks):
 Certainteed fiberglass based asphalt architectural shingles in Weathered Wood (or) Pewter.
- Siding Systems (to vary within all unit blocks):
 Certainteed "Cedar Board" Vinyl Clapboard and Trim System in "Savannah Wicker" (grey);
 Certainteed "Cedar Impressions" Vinyl Shingle and Trim System in "Cypress" (muted green).
- Lighting:
 "Progress Lighting" of "Hampton Bay" fixtures;
 "Carriage Lantern" type at door entrances and "Orion Globe" type at Garage Doors.
- Windows:
 Thermal pane, Low E units in Composite frame with modern divided lite, primed wood interior.
- Doors:
 Thermo-Tru insulated composite doors to match & compliment siding and trim scheme.
- Garage Doors:
 "Overhead" insulated Garage doors with "carriage lite" fenestration as shown.
- (See Landscape and Engineering Plans for related and cross-referenced design items.)



1st Level Plan View

$\frac{3}{16}'' = 1' - 0''$

Unit Type D
 1 Bedroom, 650 SF

Unit Type E
 2 Bedrooms, 936 SF

Unit Type E
 2 Bedrooms, 936 SF

Unit Type E
 2 Bedrooms, 936 SF

Typ HC Unit
 Unit Type D
 1 Bedroom, 650 SF

No.	Date	Revision
1.1-A	4-8-15	Prelim. Comments
1.1-B	6-12-15	Review Comments
1.1-C	6-15-15	Review Comments
1.1-D	7-25-15	Review Comments
1.1-E	9-15-15	Review Comments
1.1-F	10-15-15	Team Review
1.1-G	12-24-15	Unit Floor Plan
1.1-H	2-1-16	Final Unit
1.1-I	4-15-16	P&Z, ADRB Review



Architectural
 Building Design
 (Units D & E Block)

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Date: 4-15-16
 Project No. 0115-B
 Drawn By: MAC
 Scale: 1" = 40' - 0"
 Application: AutoCAD 2014
 File No. 0115

Architectural Designs
MEADOWBROOK GARDENS

Phase II
APARTMENTS AT MEADOWBROOK LANE
MANSFIELD, CT

prepared for
Artisan Development, LLC

JACK YANG

Issued for
April 15, 2016
P&Z Approvals

No.	Date	Revision
1.2-A	4-8-15	Prelim. Comments
1.2-B	6-12-15	Review Comments
1.2-C	6-15-15	Review Comments
1.2-D	7-25-15	Review Comments
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1.2-F	10-15-15	Team Review
1.2-G	12-24-15	Unit Floor Plan
1.2-H	2-12-16	Total Unit
1.2-I	4-15-16	PZ, ADRB Review



Architectural
Building Design
(South Units
E-only Block)

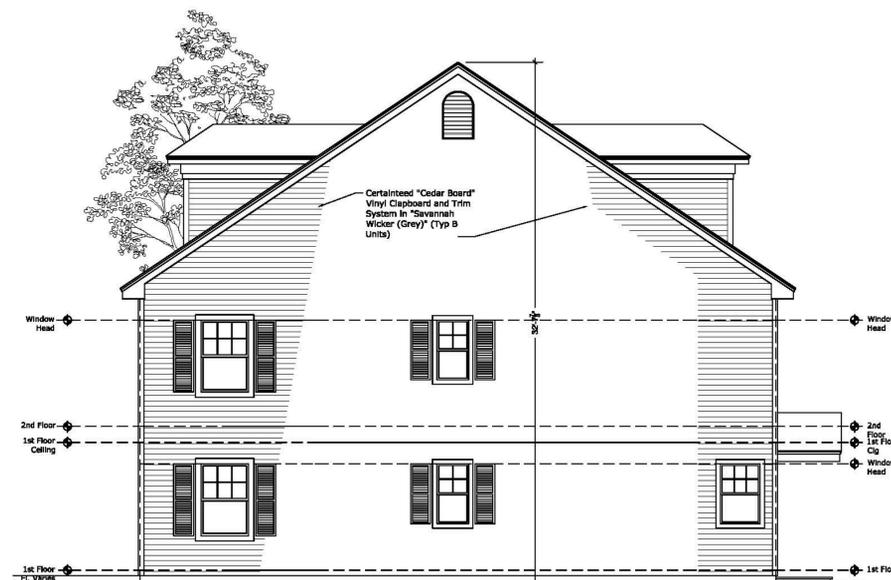
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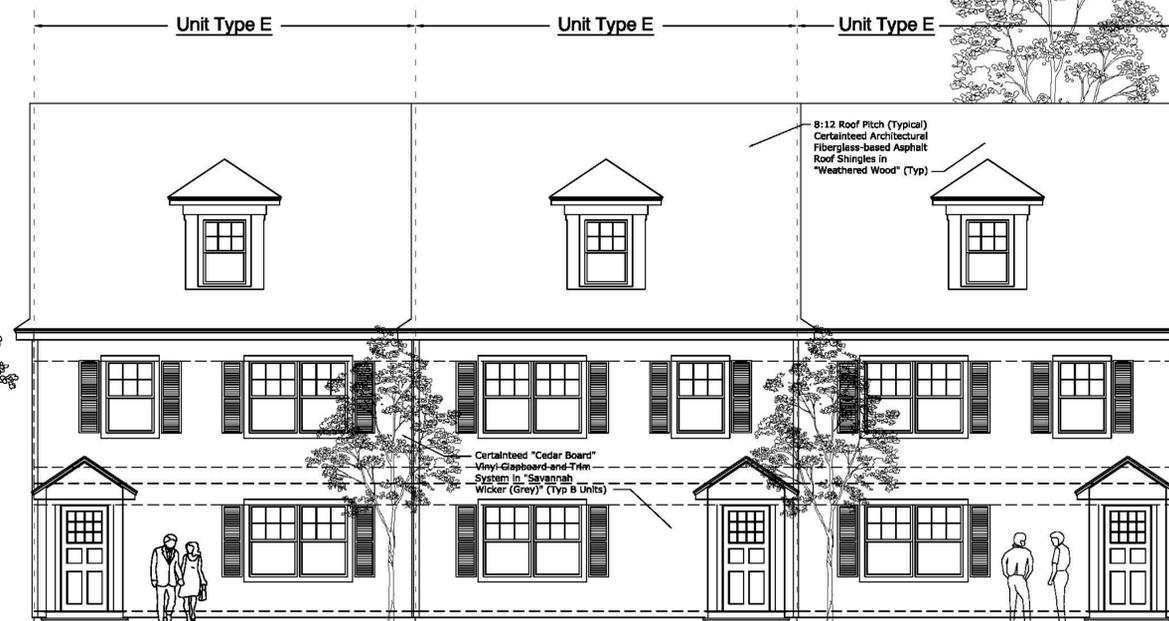
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Project No. 0115-B
Drawn By: MAC
Scale: 1" = 40' - 0"
Application: AutoCAD 2014
File No. 0115



Left Side Elevation View

South Unit E-only Block $\frac{3}{16}'' = 1' - 0''$
(Right Elevation Sim)

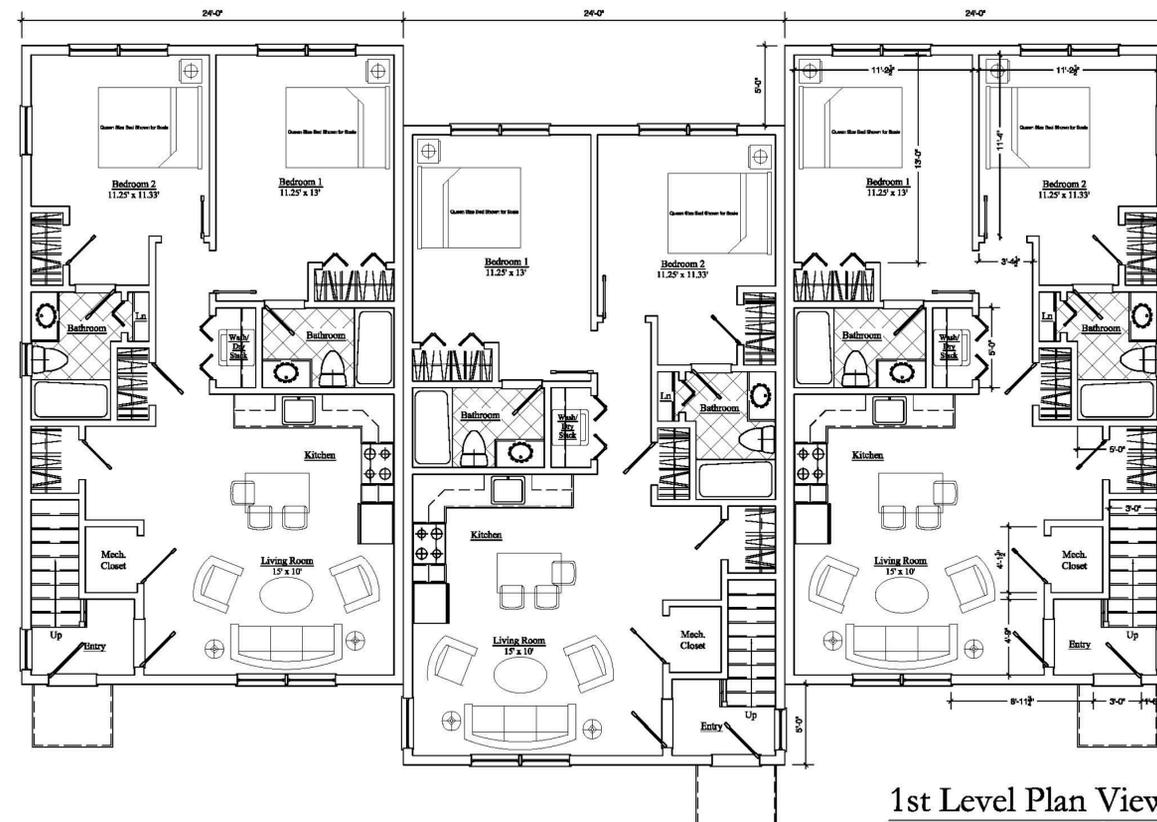


Front Elevation View

South Unit E-only Block $\frac{3}{16}'' = 1' - 0''$

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"Overhead" insulated Garage doors with "carriage lite" fenestration as shown.
8. (See Landscape and Engineering Plans for related and cross-referenced design Rems.)



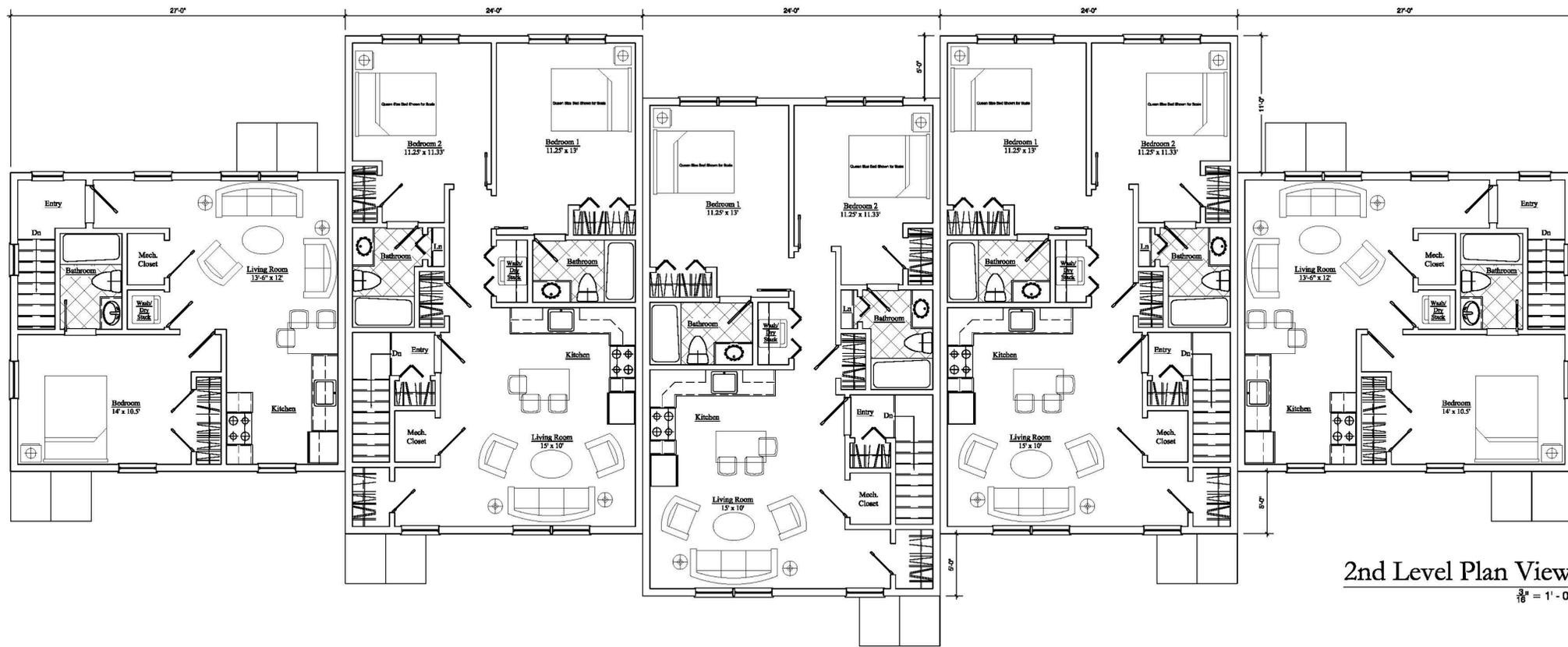
1st Level Plan View

South Unit E-only Block $\frac{3}{16}'' = 1' - 0''$

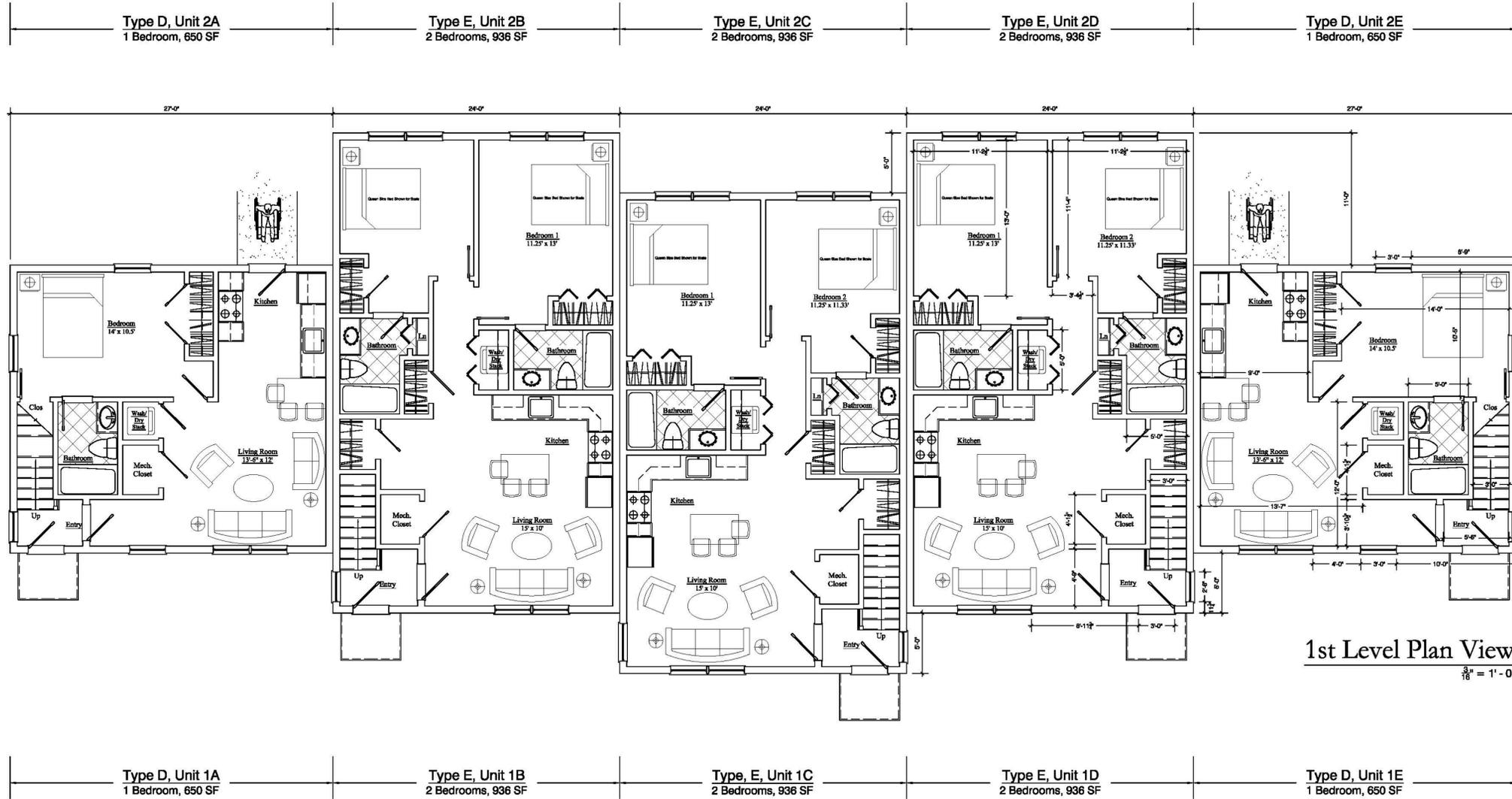
Unit Type E
2 Bedrooms, 936 SF

Unit Type E
2 Bedrooms, 936 SF

Unit Type E
2 Bedrooms, 936 SF



2nd Level Plan View
 $\frac{3}{8}'' = 1' - 0''$



1st Level Plan View
 $\frac{3}{8}'' = 1' - 0''$

Type D, Unit 2A
1 Bedroom, 650 SF

Type E, Unit 2B
2 Bedrooms, 936 SF

Type E, Unit 2C
2 Bedrooms, 936 SF

Type E, Unit 2D
2 Bedrooms, 936 SF

Type D, Unit 2E
1 Bedroom, 650 SF

Type D, Unit 1A
1 Bedroom, 650 SF

Type E, Unit 1B
2 Bedrooms, 936 SF

Type E, Unit 1C
2 Bedrooms, 936 SF

Type E, Unit 1D
2 Bedrooms, 936 SF

Type D, Unit 1E
1 Bedroom, 650 SF

MARK A. COMEAU
 ARCHITECT
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 860.303.1884
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 APARTMENTS AT MEADOWBROOK LANE
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1.3-A	4-8-15	Prelim. Comments
1.3-B	5-12-15	Review Comments
1.3-C	5-15-15	Review Comments
1.3-D	7-25-15	Review Comments
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Architectural
 FLOOR PLANS
 (Units D & E)

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Date: 4-15-16
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 Scale: 1" = 40' - 0"
 Application: AutoCAD 2014
 File No. 0115

Architectural Designs

MEADOWBROOK GARDENS

Phase II

APARTMENTS AT MEADOWBROOK LANE
MANSFIELD, CT

prepared for

Artisan Development, LLC

JACK YANG

Issued for

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P&Z Approvals

No.	Date	Revision
1.4-A	4-8-15	Prelim. Comments
1.4-B	6-12-15	Review Comments
1.4-C	6-15-15	Review Comments
1.4-D	7-29-15	Review Comments
1.4-E	9-15-15	Review Comments
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1.4-H	2-1-16	Final Unit
1.4-I	4-15-16	PZ, AD&B Review



Architectural
ELEVATIONS
(D & E Block)

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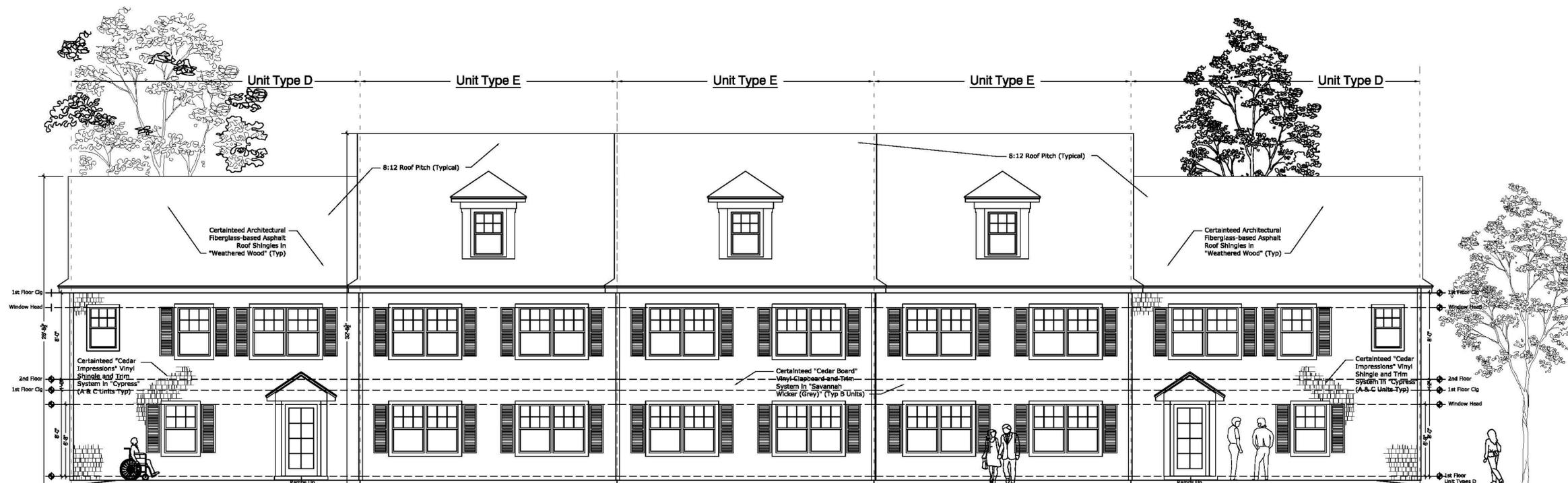
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File No. 0115

A1.4



Rear Elevation View

Same Elevations - All blocks $\frac{3}{16}'' = 1' - 0''$



Left Side Elevation View

Same Elevations - All Blocks $\frac{3}{16}'' = 1' - 0''$



Right Side Elevation View

Same Elevations - All Blocks $\frac{3}{16}'' = 1' - 0''$

Architectural Designs
MEADOWBROOK GARDENS

Phase II
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MANSFIELD, CT
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1.5-D	7-29-15	Review Comments
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1.5-G	12-24-15	Unit Floor Plan
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1.5-I	4-15-16	PZ, ADRB Review



Enlarged
FLOOR PLANS
(Typical D & E Units)

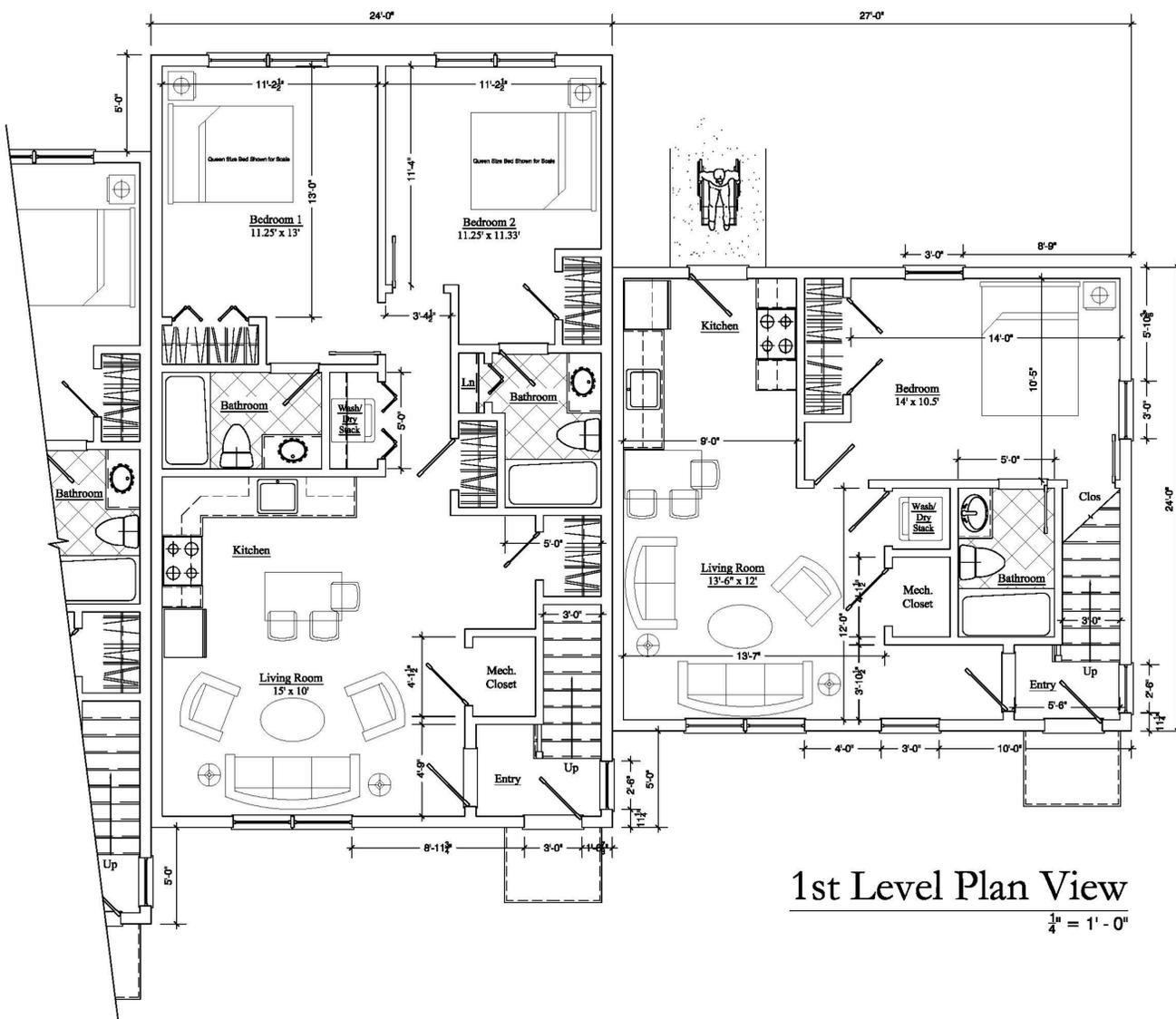
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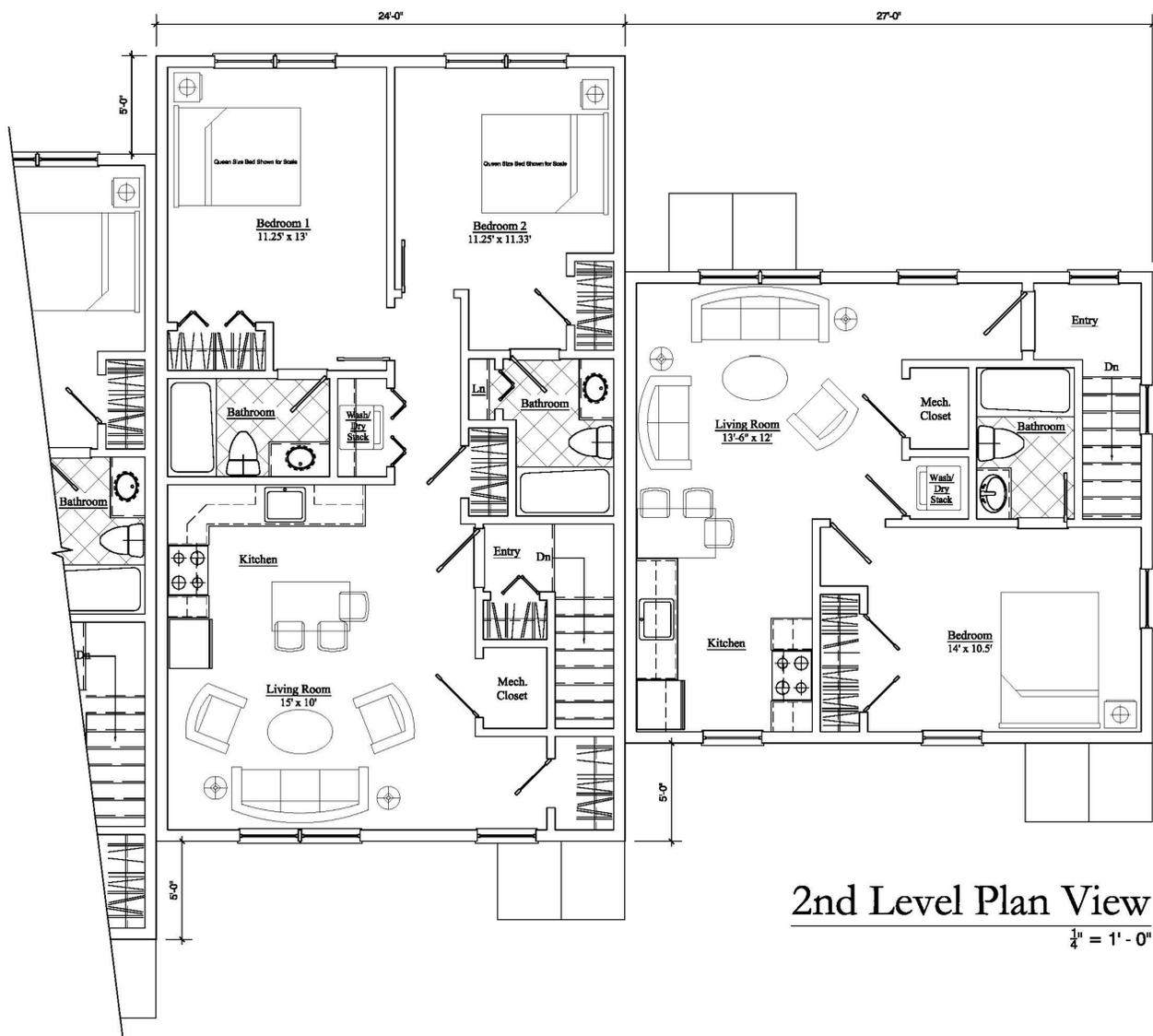
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File No.	0115



1st Level Plan View
1/4" = 1' - 0"



2nd Level Plan View
1/4" = 1' - 0"

Unit E
2 Bedrooms, 936 SF

Unit D
1 Bedroom, 650 SF

Unit E
2 Bedrooms, 936 SF

Unit D
1 Bedroom, 650 SF



TOWN OF MANSFIELD
DEPARTMENT OF PLANNING AND DEVELOPMENT

Janell M. Mullen/Assistant Planner & Zoning Agent

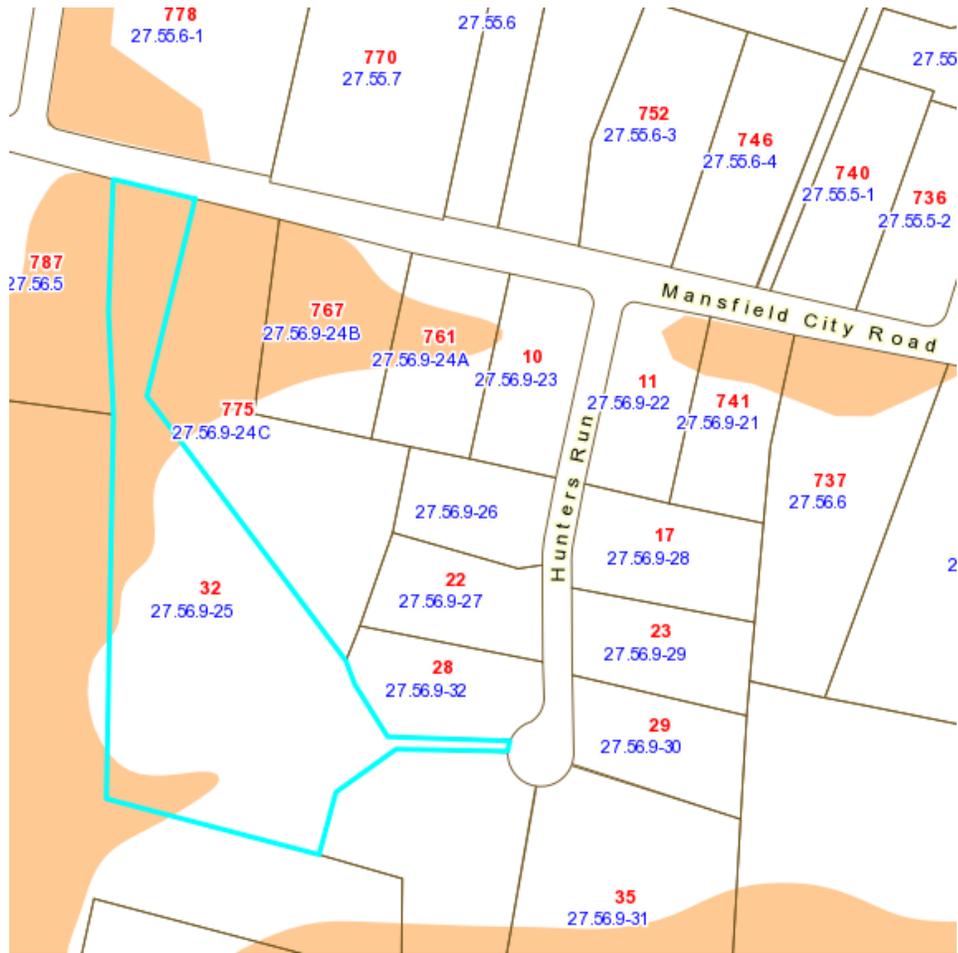
MEMO TO: Planning and Zoning Commission
FROM: Janell M. Mullen, Assistant Planner & Zoning Agent
DATE: April 28, 2016
SUBJECT: Frontage Interpretation

GENERAL:

It was asked if precedent examples could be found in Mansfield where a lot's frontage is not adjacent to the proposed structure. Examples of such a configuration approved by the Planning and Zoning Commission are numerous. The housing lots appear to have been designed in this way to avoid disturbing wetlands and other natural resources.

The following graphics illustrate the configurations of these lots. The shaded areas show general locations of wetland soils as available on the Town's GIS map to give the Commission an idea of the general location of the wetland locations; these are not the actual delineated wetlands that were mapped as part of the subdivision process.

EXAMPLE 1: CEDAR HILL SUBDIVISION SECTION IV

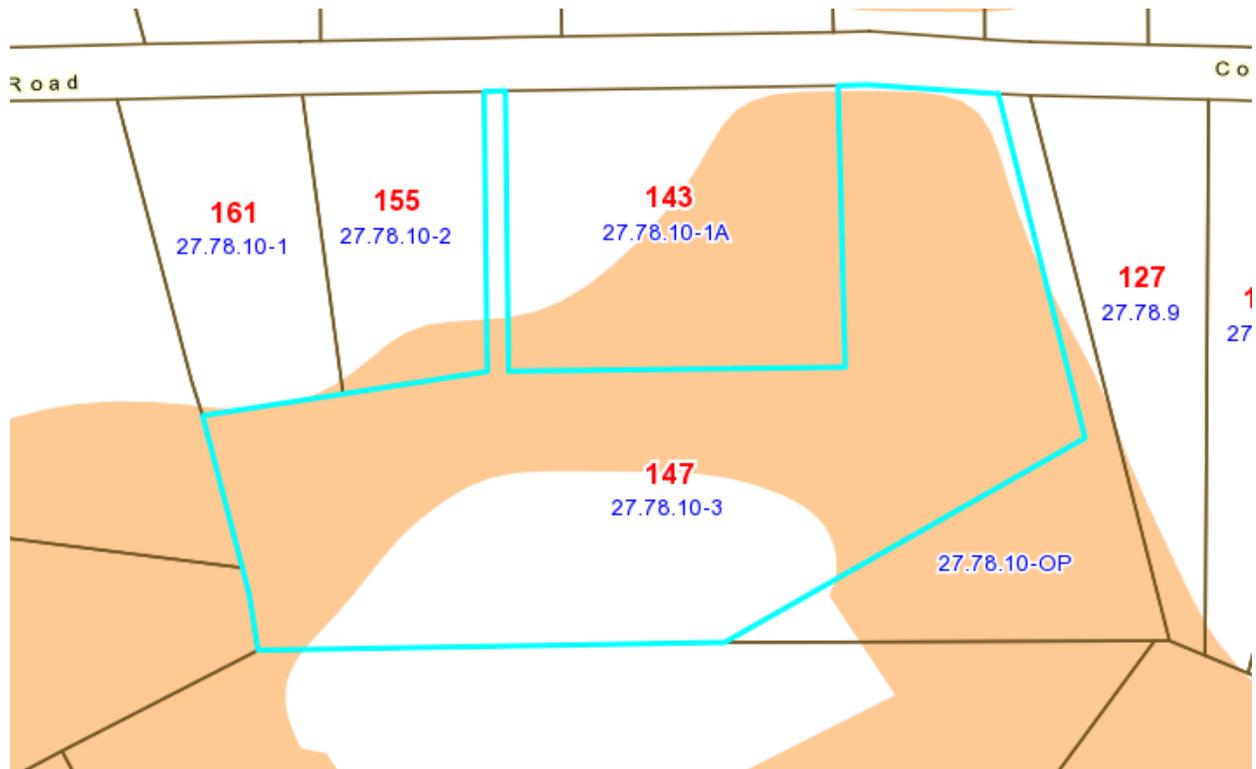


32 HUNTERS RUN

Per PZC files approving the configuration of Lot #27 (which was later changed to #25), a part of Cedar Hill subdivision Section IV, it was noted that:

“Lot #27 had its frontage on Mansfield City Road but the proposed driveway access is off of Hunters Run. This arrangement is acceptable as it avoids wetland crossing.”

EXAMPLE 2: COUNTRY ACRES

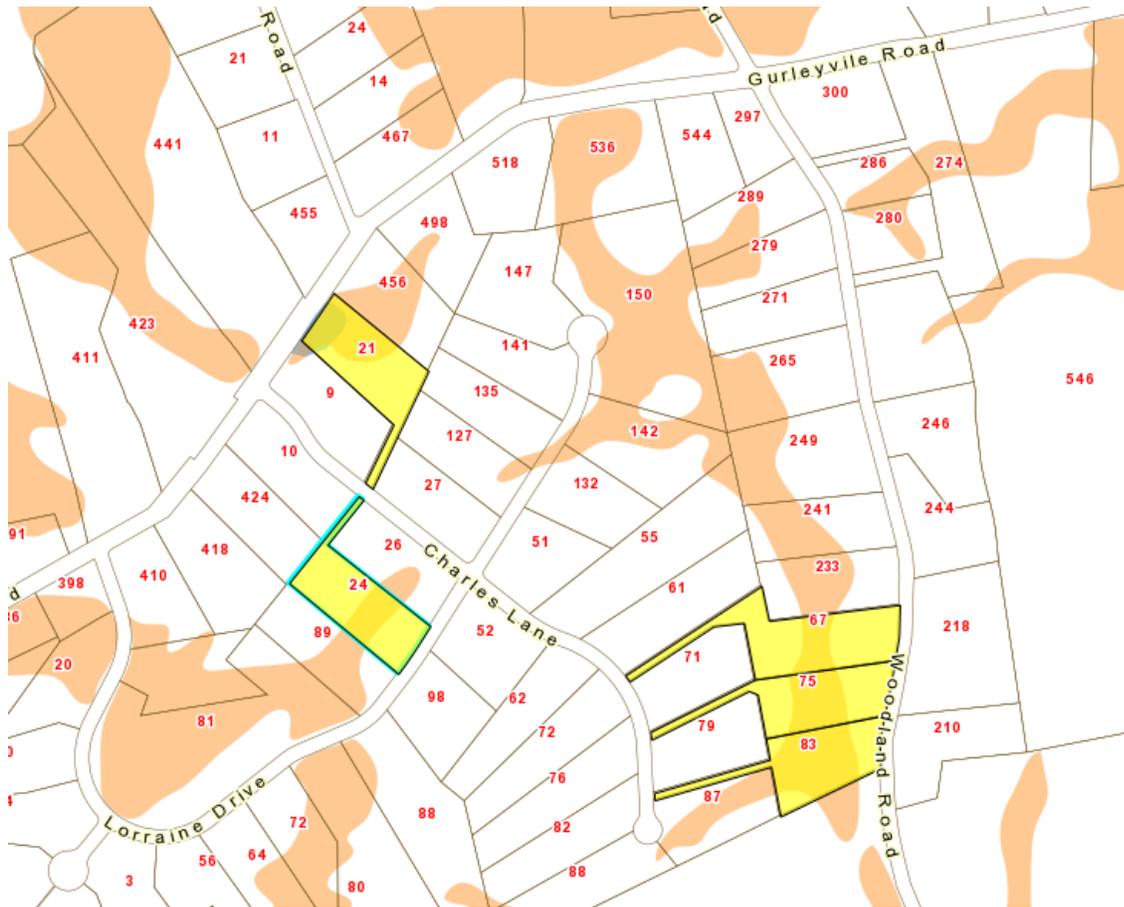


147 COVENTRY ROAD

Per PZC file #1104-2, in regards to Lot #3 the Country Acres Subdivision,

“Lot 3 has the required 150 feet of frontage on Coventry Road, but would be accessed by a separate 20 feet wide access strip between proposed Lot 2 and a separate lot that was created by the applicant’s first split.”

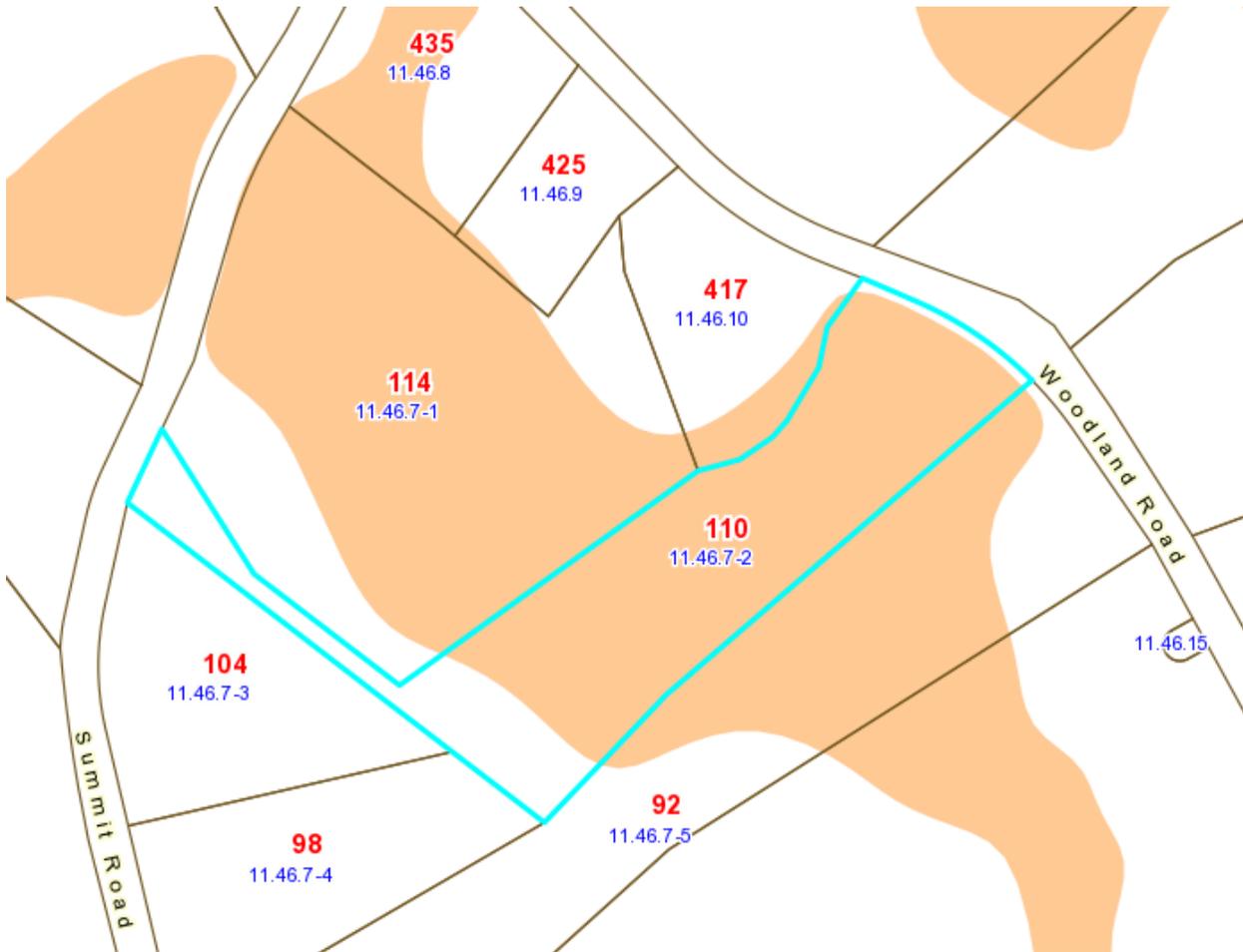
EXAMPLE 3: WOODLAND ESTATES



There are 5 lots that were approved as part of various phases of Woodland Estates that have similar configurations where required frontage for the lots is located on one road and access is taken from a separate road with narrower frontage. While staff memos did not highlight the specifics in each phase, it was noted as part of Woodland Estates I (PZC #572) (which approved lots located at 21 & 24 Charles Lane): *“The subject lots have their required frontage on Woodland Road. The 200 foot frontage requirement is met at the building setback line which is acceptable as per Article VIII, Sect 6.B of the Zoning Regulations.”*

Additionally, the Commission specifically required the lots addressed as 67, 75 and 83 Charles Lane to take access from Charles Lane due to the wetlands and topography along the Woodland Road frontage of those lots (Woodland Estates II Section IIA; PZC #598-2)).

EXAMPLE 4: SUMMIT ESTATES



110 SUMMIT ROAD

Lot #2 of Summit Estates, which is was approved per PZC File #898, is configured in such a way that the required frontage is along Woodland Road while the access point to the lot is Summit Road. The file notes that due to the location of the wetlands:

“The proposed house and septic systems are situated on knolls fairly close to lot setback lines. Accordingly, the areas for house and septic systems are somewhat limited.”

To: Linda Painter, Director, Planning and Development
Janell Mullen, Zoning Enforcement Officer, Assistant Planner

From: James Wohl & Janet Welch (128 Dog Lane) 

Date: April 20, 2016

RE: Addendum to Abutters' memo of 3/28/2016: Discussion at April 18, 2016 PZC meeting

Several mischaracterizations were made during the abbreviated discussion at the April 18 PZC meeting. The following clarifications are offered in writing to Commission members, as there is no opportunity for public hearing on the W1561 free cut line application.

“32 Hunters Run and 51 (or 53) Homestead Drive are precedents for the frontage requirement conformity of the W1561 free line cut application.”

This is not accurate. The lots on Hunters Run and Homestead Dr. were both part of cul de sac subdivision applications in 1995 and 2004, respectively, not free cut line applications. In both subdivisions, 32 Hunters Run and 51/53 Homestead Dr. were single rear lot houses of the ~ 15 homes – the others situated on the street. The frontage requirements for these rear lots were present on separate streets than the cul de sac addresses. The subdivision application process follows an entirely different set of regulations that include vetting procedures through the PZC such as public hearings, notification of abutters, and yield plans to assess the merits of creating a new neighborhood and its alignment with town goals. The W1561 application is for a free cut line that is applied for under the Mansfield Zoning Regulations not the Subdivision Regulations. It requires only a single signature and affects an already existing neighborhood. As is stated in the 3/28/2016 memorandum, no precedent exists for a free cut line approval where the frontage requirement is met in this fashion, affecting the street spacing of homes. The 3/28/2016 memorandum raises several implications of setting this precedent.

“The court case submitted is not applicable to the W1561 application because in that court case there was no definition of frontage in the town’s zoning regulations. We (the Mansfield Regulations) have a definition of frontage.”

This is not accurate. The case, *Michos et al v Planning and Zoning Commission* involved the application of the Land Use Regulations in the town of Easton, CT. The term Lot Frontage and the Road Frontage requirement are indeed defined in the Easton regulations and are nearly identical to the definitions in the Mansfield Regulations (see attached pages). The court found it necessary to explicate the common language understanding of “frontage” in light of the frontage definition not because there was an absence of a frontage definition and concluded land in front of building is part of the meaning of frontage. The second case mentioned, *Heim v Zoning Board of Appeals* explains the standard for interpreting ambiguous or insufficient definitions in municipal zoning regulations. Both cases are presented as guidance to the PZC.

“The PZC is not being asked to do anything.”

The abutters, through the 3/28/2016 memorandum, are specifically requesting a motion be approved by the PZC that requires that the W1561 applicant seek a special exception (or variance) from the Zoning Board of Appeals.

- 2.1.17 LOT, (CORNER): A lot having two adjacent sides which face a street or streets so that the interior angle of the intersection is not more than 120 degrees, provided that the corner of any such intersection is not rounded by a curve having an inside radius greater than 50 feet. (new 2/24/89)
- 2.1.18 LOT FRONTAGE: The distance between the boundaries of a lot measured along the public street line or, where no public street line exists, along a line drawn at a distance of 25 feet from the centerline of the paved surface of the street.
- 2.1.19 MEDICAL OFFICE BUILDING (deleted 2/5/90)
- 2.1.20 MOTOR VEHICLE: Any passenger motor vehicle excluding campers, buses, trucks and other vehicles the primary function of which is other than transportation of people.
- 2.1.21 NON-CONFORMING LOT: Any parcel of land existing in separate ownership prior to June 25, 1941, which does not meet the requirements of Article 5 of these Regulations.
- 2.1.22 NON-CONFORMING USE: A use of land or building that, notwithstanding the conforming of the building or the lot, does not meet the use provisions of the Zoning Regulations as of the date such use was first regulated by the Commission.
- 2.1.23 NON-CONFORMING BUILDING OR STRUCTURE: A building or structure that, notwithstanding the use of the building or structure, does not conform to the applicable sections of the Zoning Regulations as of the date such building or structure was first regulated as to its size, shape, number of stories or area by the Commission.
- 2.1.24 NURSERY GARDEN: A facility where plants (such as trees and shrubs) are grown for transplanting, for use as stocks for budding and grafting, or for sale.
- 2.1.25 NURSERY SCHOOL: A facility which provides care and instruction for children under the age of six for a fee.
- 2.1.26 OPEN SPACE: An unoccupied space open to the sky not on the same lot as a building.
- 2.1.27 POND: A natural or man-made body of water exceeding 1,000 square feet in area.
- 2.1.28 PREMISES: That portion, or all, of a lot or building actually in use or proposed for the specific purpose or use under consideration.
- 2.1.29 PROFESSIONAL OFFICE: An office, entirely within a dwelling, operated by a professional person residing therein, or within a medical office building or clinic, subject to the requirements of Section 6.1 and Article 7.
- 2.1.30 SIGN: An outdoor device constructed of any material intended to carry or carrying a visual message or image identifying or promoting a business, profession, occupation, use or person, subject to the provisions of Section 5.6.
- 2.1.31 SIMILAR USE: A use which the Commission shall find to be similar to a permitted use.

5.2 ACCEPTABLE LOT SHAPE:

5.2.1 District A

The shape of the lot must be such that it can contain a square measuring at least 150 feet on each side.

5.2.2 Districts other than District A.

The shape of the lot must be such that it can contain a rectangle having dimensions of 150 feet by 175 feet.

5.3 ROAD FRONTAGE:

5.3.1 (Rev. 2/24/89) Except for interior and flag lots, a lot shall have frontage on a public street or highway of not less than two hundred (200) feet.

5.3.2 Corner lots shall have at least 200 feet of frontage on each of the intersecting roads.

5.3.3 (New 2/24/89) A flag lot shall have frontage on a public street of not less than twenty-five (25) nor more than fifty (50) feet. See Section 5.13

5.4 MINIMUM YARD REQUIREMENTS:

5.4.1 The minimum front yard shall measure no less than 50 feet at any point when measured perpendicularly to the street line, but in no case shall the structure be less than 75 feet from the center line of the paved surface of any street. The minimum side and rear yards shall measure no less than 40 feet when measured perpendicularly to the respective yard lines. 1983 Revised 2/24/89

5.4.2 The front, side and rear yards may be occupied by normal appurtenances substantially at ground level, such as a driveway, access bridge, or terrace; also by a wall or fence no higher than six feet, a mailbox or a driveway light post.

5.5 BUILDING SIZE:

5.5.1 A one story dwelling shall have a floor area of at least 1,500 square feet.

5.5.2 A two story dwelling shall have a floor area of at least 1,000 square feet on the first floor and at least 600 square feet on the second floor. Should a two story dwelling have at least 1,500 square feet on the first floor, there shall be no minimum square footage requirement for the second floor.

5.5.3 Split level and raised ranch style houses shall conform to Section 5.5.2, except that any area having a floor level 3 feet or more below grade shall not be counted toward the minimum floor area requirement.

5.5.4 The maximum height of any dwelling shall be no more than two stories plus attic, but in no event higher than 35 feet above grade, with reference to the highest elevation where the foundation meets grade.



Town of Mansfield

Department of Planning and Development

Date: April 28, 2016
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director of Planning and Development
Subject: Draft Zoning Regulations: Stormwater Management; Water Service Connections; Alcohol and Live/Amplified Music

At the April 18, 2016 meeting, the PZC voted to schedule a public hearing for June 20, 2016 on proposed changes to the Mansfield Zoning Regulations related to Stormwater Management, Water Service Connections/Creation of a Water Pipeline Overlay District, Alcohol, and Live/Amplified Music. Prior to voting, the Commission identified changes to the live/amplified music regulations to change language related to permit revocation; however, the motion did not reflect these changes. Additionally, upon further review of the draft Water Pipeline Overlay District regulations and map, staff noticed some additional corrections as described below.

Draft Water Service Connections/Water Pipeline Overlay District Regulations

The attached April 28, 2016 draft includes the following changes, all of which are highlighted in yellow:

- The previous draft prohibited the use of easements to provide water service outside of the overlay district. Upon further consideration, staff realized that this would prohibit someone from accessing water even in cases where their well has been contaminated, essentially restricting properties outside the zone more than those in the overlay zone. As such, the April 28th draft includes revised language that would subject any properties outside the overlay zone to the same restrictions if they are accessing water via an easement or ROW across property in the overlay zone.
- The revised draft also corrects a typo (two numeral “3”s under Article 6, Section B.4.u).

Draft Water Pipeline Overlay District Map

- The area located south of Puddin Lane/Pleasant Valley Road was removed from the proposed overlay district as those properties are designated as Compact Residential on the Future Land Use Map.
- The Circle Drive neighborhood also removed from the overlay district as it is fully developed and already served by public sewer and water.
- The overlay district was removed from three private lots surrounded by UConn’s Spring Manor Farm.
- The overlay district was removed from university property on the east side of Northwood Road.
- The overlay district was applied to the remainder of RAR-90 zone on the west side of Route 32 immediately adjacent to the south boundary of the PB-5 zone.
- The overlay district was applied to the remainder of properties in Mansfield Depot located west of Route 32, north and south of Route 44.
- The overlay district was applied to the remainder of the NB-1 zoned properties at the intersection of Routes 195 and 32.

- The overlay district was applied to properties on the east side of Cedar Swamp Road between Routes 44 and 195.
- The overlay district was applied to properties zoned RAR-90 on both sides of Route 195 south of Route 44 and north of Moulton Road.
- The overlay district was applied to two single-family homes on Route 320 east of Route 195
- The overlay district was applied to several lots located east of Baxter Road and north of Route 195.

Draft Live/Amplified Music Regulations

Changes to the live/amplified music regulations are highlighted in the attached draft dated April 28, 2016 include:

- Changes to proposed Article I, Section 3 related to outdoor music to delete the reference to “all zones” and correct the location of the table containing day/time restrictions. These regulations would only apply to business uses pursuant to Commission discussion at the April 4, 2016 meeting.
- Changes to proposed Article I, Section 5 to change the threshold for potential permit revocation to two violations based on the Commission’s discussion at the April 18th meeting.
- This draft also shows all of the proposed changes in a strike-through and underline format as opposed to only showing final language in the previous draft.

Summary and Recommendation

Based on the above, staff recommends that the Commission withdraw the previous actions setting a public hearing on the previous draft adopt a new motion scheduling a public hearing for June 20th for the revised drafts. To simplify matters, all of the draft regulations are now dated April 28, 2016, even though no other changes were made to draft regulations related to stormwater and alcohol.

Staff recommends the following motions:

_____ MOVE to withdraw the actions approved on April 18, 2016 that scheduled public hearings for June 20th 2016 for draft zoning regulations related to stormwater management dated March 17, 2016; draft zoning regulations related to water service connections and creation of a Water Pipeline Overlay District dated April 12, 2016; and draft zoning regulations related to alcohol and live/amplified music dated April 8 2016.

_____ MOVE that a public hearing be scheduled for June 20th to hear comments on the proposed revisions to the Zoning Regulations dated April 28, 2016 related to stormwater management; water service connections and the creation of a Water Pipeline Overlay District; alcohol; and live/amplified music. The draft regulations related to stormwater management, water service connections and the Water Pipeline Overlay District shall be referred to the Town Attorney, CRCOG, adjacent municipalities, Town Council, Conservation Commission and Four Corners Sewer and Water Advisory Committee for review and comment. The draft regulations related to alcohol and live/amplified music shall be referred to the Town Attorney, CRCOG, adjacent municipalities, Town Council, and Economic Development Commission for review and comment.

DRAFT ALCOHOL AND LIVE MUSIC REGULATIONS

MANSFIELD DEPARTMENT OF PLANNING AND DEVELOPMENT ■ APRIL 28, 2016

OVERVIEW

ALCOHOLIC LIQUOR REGULATIONS

The proposed changes:

- Change liquor permits from a principal to an accessory use for all liquor permits other than temporary permits.
- Eliminate requirement for site plan approval for temporary liquor permits provided certain conditions are met. (A list of temporary permits is attached at the end of the document for reference purposes.)
- Eliminate separation distance requirements between sales/manufacture of alcohol and certain uses.
- Eliminate references to specific state liquor permit types, thereby deferring to permits allowed by Code of Ordinances
- Allow brew pubs and brewpub/restaurants (alcohol manufacturing) by special permit in the PB-1, PB-2, PB-3, PB-4 zones, and by-right in the SC-SDD zone provided sewer and water infrastructure is available.*
- Allow breweries (alcohol manufacturing) by special permit in the PB-1 and PB-3 zones provided sewer and water infrastructure is available.*
- Allow farm wineries (manufacture of alcohol) in the RAR-90, PVRA and PVCA zones.*

*These uses would not be authorized unless/until the Code of Ordinances was changed to allow for these types of alcohol permits.

LIVE MUSIC REGULATIONS

The proposed changes:

- Change live music permits from a principal to an accessory use for live and/or amplified music associated with a business that meet the standards identified in the regulations.
- Zoning permit required; permit may be revoked if there are two or more noise/nuisance violations within a 12-month period.
- Allow outdoor music subject to day/time restrictions.
- Require special permit approval for proposed music venues that deviate from the defined standards.

AMENDMENTS TO ARTICLE FOUR: RULES AND DEFINITIONS

AMEND SECTION B – DEFINITIONS

Add the following definitions (alphabetic order) and renumber subsequent definitions accordingly.

6. Brewpub/restaurant – A restaurant where beer is manufactured, stored, bottled and sold to be consumed on premises. A limited amount of beer may be sold at retail in sealed containers for consumption off premises as accessory to the restaurant use.
7. Brewpub – A facility where beer can be manufactured, stored, bottled, sold at wholesale or at retail in sealed bottles or other sealed containers for consumption off premises, or sold to be consumed on premises in a room that is ancillary to the production of beer, with or without the sale of food.
8. Brewery – A facility where beer can be manufactured, stored, bottled and sold at wholesale or at retail in sealed containers for consumption off premises or offered for on-site tasting.

AMENDMENTS TO ARTICLE SEVEN: PERMITTED USES

AMEND SECTION D – USES PERMITTED IN ALL ZONES EXCEPT IN THE FLOOD HAZARD ZONE

Amend Section D.7, Accessory Buildings and Uses to add new subsections (g) and (h) as follows:

7. **Accessory buildings and uses** (see definition in Article IV), provided the following conditions are met:

* * * * *

g. The sale of alcoholic liquor shall be permitted as accessory to the following uses provided the liquor permit type is authorized pursuant to Chapter 101 of the Mansfield Code of Ordinances:

- Retail
- Restaurant
- Hotel
- Place of Assembly-Banquet Hall
- Commercial recreation facility
- Brewpub/Restaurant, Brewpub, and Brewery
- Farm Winery

h. Live and/or amplified music shall be permitted provided the standards of Article Ten, Section I are met.

* * * * *

Amend Section D.15, Temporary Special Events involving the sale and consumption of alcoholic liquor as follows:

15. **Temporary special events involving the sale and consumption of alcoholic liquor pursuant to Sec. 30-25, 30-35, 30-37b and 30-37h, C.G.S.**, provided ~~site plan approval is obtained in accordance with Article V, Section A and the following requirements of Article X, Section I.5~~ are met:

- a. A Zoning Permit shall be obtained for proposed events unless the property meets one of the following criteria:
 - 1. The property is owned or leased by a public agency; or
 - 2. The property has received prior zoning approval for a public assembly use.
- b. Proposed plans for parking, traffic control, crowd control, hours of operation and protection of minors shall be submitted with the Zoning Permit Application and approved by the Mansfield Police Department;
- c. Proposed plans for providing sanitary facilities for the subject event shall be submitted with the Zoning Permit application and found to be sufficient by the Zoning Agent in consultation with the local health district.

AMEND SECTION G – USES PERMITTED IN THE RAR-90 ZONE

Amend Section G to add new section G.15 as follows:

- 15. Farm Wineries provided special permit approval is obtained in accordance with Article V, Section B.

AMEND SECTION K – USES PERMITTED IN THE PVRA (PLEASANT VALLEY RESIDENCE/AGRICULTURE) ZONE (LAND SOUTH OF PLEASANT VALLEY ROAD AND WEST OF MANSFIELD CITY ROAD)

Amend Section 3 to add new Section 3.g as follows:

- 3. **Categories of Permitted Uses in the Pleasant Valley Residence/Agriculture Zone Requiring Special Permit Approval as per the Provisions of Article V, Section B and Applicable Provisions of Article X, Section A:**

* * * * *

- g. Farm Wineries

* * * * *

AMEND SECTION L – USES PERMITTED IN THE PLANNED BUSINESS 1 ZONE (ROUTE 195/ROUTE 6 AREA)

Amend Section L as follows:

- 2. **Categories of permitted uses in the Planned Business 1 zone requiring special permit approval as per the provisions of Article V, Section B:**

- a. **Category A**

- 1. **Retail uses that comply with the following criteria:**

- the use results in a maximum of four separate stores, shops or businesses on the subject lot; and
- the use involves a maximum of two distinct or independent retail operations per store, shop or outdoor area
- ~~any retail store selling alcoholic liquors shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I~~

* * * * *

e. Category E

1. Retail uses that comply with the following criteria:

- The use results in five or more separate stores or shops or businesses on the subject lot; or
- The use involves more than two distinct or independent retail operations per store, shop or outdoor area. (For example: a marketing operation where more than two independent merchants utilize a particular area)
- ~~any retail store selling alcoholic liquors shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I~~

* * * * *

f. Category F

Commercial recreation facilities such as theaters, racquetball, tennis and physical fitness centers; and bowling alleys. All changes in use within this subsection require special permit approval. ~~Any commercial recreation facility selling alcoholic liquor shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I.~~

g. Category G

Game arcades as a primary (more than 3 games) and not accessory use, provided the following conditions are met:

1. ~~there is no sale or consumption of alcoholic beverages on the arcade premises;~~

Renumber subsequent provisions accordingly

* * * * *

h. Category H

Reserved.

~~The use of live music associated with any hotel, motel, commercial recreation facility or restaurant, provided no outside speakers shall be used in conjunction with the use of such music and provided no music associated with the use is objectionable at the site's property lines. Any special permit issued pursuant to this subsection shall expire on November 1 of each year and, upon application and Public Hearing, may be renewed. As an exception to this requirement for Special Permit approval, limited live music uses may be authorized with Zoning Permit approval provided the following standards are met:~~

1. ~~The subject live music shall be limited to singing or the playing of musical instruments that, in the opinion of the Zoning Agent, are accessory to an authorized use (such as background music to enhance a dining experience) and not a primary use, (such as a separate concert event).~~
2. ~~The subject live music shall be unamplified or amplified at volume levels that, in the opinion of the Zoning Agent, would have low potential for causing noise issues for neighboring property owners. If neighborhood noise problems occur, the subject live music authorization may be altered or revoked.~~

~~3. No live music use authorized under this Zoning Permit provision shall take place after 10 pm on weekdays and 11pm on weekends.~~

~~4. Zoning Permits issued for live music under this provision shall be valid for an initial period ending on November 1 of an even numbered year and may, upon application of the holder of such permit, be renewed for additional periods of two (2) years each provided the requirement of this section are continually met. Such permit shall not be transferable.~~

~~Any questions regarding the appropriate permit process for authorizing live music uses, shall be resolved by the Planning and Zoning Commission.~~

i. Category I

~~The sale of alcoholic liquor subject to the provisions of Article X, Section I Brewpub/restaurant, Brewpub and Brewery uses provided the site is served by public water and sanitary sewer systems.~~

* * * * *

k. Category K

1. Restaurants, provided the following conditions are met:

- a. all structures and parking areas are a minimum of 100 feet from residential zone boundaries or 100 feet from the property lines of an existing residence on an adjacent lot. This setback requirement may be reduced if the applicant can demonstrate to the satisfaction of the PZC that the subject uses will be effectively buffered from adjacent properties by existing or proposed vegetation, topographic features, walls, fences or other measures.
- b. There shall be no drive-through food service.
- ~~c. Any restaurant selling alcoholic liquor shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I.~~

* * * * *

m. Category M

Hotels, motels, tourist homes. ~~Any associated restaurant selling alcoholic liquors shall comply with the provisions of Article VII, Section L.2.i and Article X, Section I.~~

* * * * *

AMEND SECTION M-USSES PERMITTED IN THE PLANNED BUSINESS 2 ZONE (ROUTE 195/DOG LANE AREA)

Amend Section M.2 as follows:

2. Categories of permitted uses in the Planned Business 2 zone requiring special permit approval as per the provisions of Article V, Section B:

* * * * *

f. **Category F**

Commercial recreation facilities such as theaters, racquetball, tennis and physical fitness centers, and bowling alleys. All changes in use within this subsection require special permit approval. ~~Any commercial recreation facility selling alcoholic liquor shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I.~~

* * * * *

j. **Category J**

Hotels, motels, tourist homes. ~~Any associated restaurant selling alcoholic liquors shall comply with the provisions of Article VII, Section L.2.1 and Article X, Section I.~~

* * * * *

k. **Category K**

Reserved.

~~The use of live music associated with any restaurant or commercial recreation facility subject to the standards and requirements cited in Article VII, Section L.2.h~~

l. **Category L**

~~The sale of alcoholic liquor subject to the provisions of Article X, Section I~~
Brewpub/restaurant and Brewpub uses provided the site is served by public water and sanitary sewer systems.

* * * * *

AMEND SECTION N – USES PERMITTED IN THE PLANNED BUSINESS 3 ZONE (ROUTE 195/ROUTE 44 FOUR CORNERS AREA)

Amend Section N as follows:

3. Categories of permitted uses in the Planned Business 3 zone requiring special permit approval as per the provisions of Article V, Section B:

* * * * *

f. **Category F**

Commercial recreation facilities such as theaters, racquetball, tennis and physical fitness centers; and bowling alleys. All changes in use within this subsection require special permit approval. ~~Any commercial recreation facility selling alcoholic liquor shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I.~~

* * * * *

i. **Category I**

Reserved.

~~The use of live music associated with any hotel, motel, restaurant or commercial recreation facility subject to the standards and requirements cited in Article VII, Section L.2.h~~

j. Category J

~~The sale of alcoholic liquor subject to the provisions of Article X, Section I
Brewpub/restaurant, Brewpub and Brewery uses provided the site is served by public water and sanitary sewer systems.~~

k. Category K

1. Restaurants, provided the following conditions are met:

- a. the site is served by adequate public water and sewer systems;
- b. all structures and parking areas are a minimum of 100 feet from residential zone boundaries or 100 feet from the property lines of an existing residence on an adjacent lot. This setback requirement may be reduced if the applicant can demonstrate to the satisfaction of the PZC that the subject uses will be effectively buffered from adjacent properties by existing or proposed vegetation, topographic features, walls, fences or other measures.
- c. There shall be no drive-through food service.
- ~~d. Any restaurant selling alcoholic liquor shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I.~~

l. Category L

Hotels, motels, tourist homes. ~~Any associated restaurant selling alcoholic liquors shall comply with the provisions of Article VII, Section L.2.1 and Article X, Section I.~~

* * * * *

AMEND SECTION O – USES PERMITTED IN THE PLANNED BUSINESS 4 ZONE (NORTH EAGLEVILLE RD./KING HILL RD. AREA)

Amend Section O.2 as follows:

2. Categories of Permitted Uses in the Planned Business 4 Zone Requiring Special Permit Approval as per the Provisions of Article V, Section B:

* * * * *

l. Category L

Reserved.

~~The use of live music associated with any restaurant or commercial recreation facility subject to the standards and requirements cited in Article VII, Section L.2.h;~~

m. Category M

~~The sale of alcoholic liquor subject to the provisions of Article X, Section I; Brewpub/restaurant and Brewpub uses provided the site is served by public water and sanitary sewer systems.~~

* * * * *

AMEND SECTION P – USES PERMITTED IN THE PLANNED BUSINESS 5 ZONE (ROUTE 32/ROUTE 31 AREA)

Amend Section P.2 as follows:

2. Categories of Permitted Uses in the Planned Business 5 Zone Requiring Special Permit approval as per the Provisions of Article V, Section B:

* * * * *

f. Category F

Commercial recreation facilities such as theaters, racquetball, tennis and physical fitness centers; and bowling alleys. All changes in use within this subsection require special permit approval. ~~Any commercial recreation facility selling alcoholic liquor shall comply with the provisions of Article VII, Section L.2.i. and Article X, Section I.~~

* * * * *

h. Category H

Reserved.

~~The use of live music associated with any commercial recreation facility or restaurant, provided no outside speakers shall be used in conjunction with the use of such music and provided no noise associated with the use is objectionable at the site's property lines. Any special permit issued pursuant to this subsection shall expire on November 1 of each year and, upon application and Public Hearing, may be renewed.~~

i. Category I

~~The sale of alcoholic liquor subject to the provisions of Article X, Section~~

* * * * *

m. Category M

Reserved.

~~The use of live music associated with any restaurant or commercial recreation facility subject to the standards and requirements cited in Article VII, Section L.2.h;~~

n. **Category N**

Reserved.

~~The sale of alcoholic liquor subject to the provisions of Article X, Section I;~~

* * * * *

AMEND SECTION Q – USES PERMITTED IN THE BUSINESS ZONE

Amend Section Q.3.c as follows:

c. **Category C**

Game arcades as a primary (more than 3 games) and not accessory use, provided the following conditions are met:

~~1. There is no sale or consumption of alcoholic beverages on the arcade premises;~~

Renumber subsequent provisions accordingly

* * * * *

h. **Category H**

Reserved.

~~The use of live music within the building confines of any hotel, motel, and restaurant, provided no outside speakers shall be used in conjunction with the use of such music and provided no music associated with the use is objectionable at the site's property lines. Any special permit issued pursuant to this subsection, shall expire on November 1, of each year and, upon application and Public Hearing, may be renewed.~~

* * * * *

AMEND SECTION R – USES PERMITTED IN THE NEIGHBORHOOD BUSINESS 1 ZONES (ROUTE 44/MANSFIELD DEPOT AREA; ROUTE 195/32 AREA; ROUTE 195/SPRING HILL RD AREA; ROUTE 32/EAGLEVILLE AREA)

Amend Section R.2 as follows:

2. Categories of Permitted Uses in the Neighborhood Business 1 Zones requiring special permit approval as per the provisions of Article V, Section B:

* * * * *

a. **Category A**

1. Retail stores that comply with the following criteria:

- a. There is a maximum of four separate stores, shops or businesses on the subject lot;
- b. There is a maximum of two distinct or independent retail operations per store, shop or outdoor area;
- ~~c. Any retail use selling alcoholic liquors shall comply with the provisions of Article VII, Section Q.2.g and Article X, Section I;~~

* * * * *

g. Category G

Reserved.

~~The sale of alcoholic liquor, subject to the provisions of Article X, Section I~~

h. Category H

Restaurants, provided the following conditions are met:

1. All structures and parking areas are a minimum of 100 feet from residential zone boundaries or 100 feet from the property lines of an existing residence on an adjacent lot. This setback requirement may be reduced if the applicant can demonstrate to the satisfaction of the PZC that the subject uses will be effectively buffered from adjacent properties by existing or proposed vegetation, topographic features, walls, fences or other measures.
2. There shall be no drive-through food service.
- ~~3. Any restaurant selling alcoholic liquor shall comply with the provisions of Article VII, Section Q.2.g and Article X, Section I.~~

~~**i. Category I**~~

~~The use of live music within the building confines of any restaurant, provided no outside speakers shall be used in conjunction with the use of such music and provided no noise associated with the use is objectionable at the site's property lines. Any special permit issued pursuant to this subsection shall expire on November 1 of each year and may be renewed upon application and Public Hearing.~~

* * * * *

AMEND SECTION S – USES PERMITTED IN THE NEIGHBORHOOD BUSINESS 2 ZONE (ROUTE 195/MANSFIELD CENTER AREA)

Amend Section S.2 as follows:

2. Categories of Permitted Uses in the Neighborhood Business 2 zones requiring special permit approval as per the provisions of Article V, Section B:

* * * * *

g. Category G

Reserved.

~~The sale of alcoholic liquor subject to the provisions of Article X, Section I~~

AMEND SECTION U – USES PERMITTED IN THE PVCA (PLEASANT VALLEY COMMERCIAL/AGRICULTURE) ZONE (LAND SOUTH OF PLEASANT VALLEY ROAD AND EAST OF MANSFIELD AVENUE)

Amend Section 3 to add new Section 3.m as follows:

3. Categories of Permitted Uses in the Pleasant Valley Commercial/Agriculture Zone Requiring Special Permit Approval as per the Provisions of Article V, Section B and Applicable Provisions of Article X, Section A:

* * * * *

m. Farm Wineries

* * * * *

AMEND SECTION V – USES PERMITTED IN THE RD/LI (RESEARCH AND DEVELOPMENT/LIMITED INDUSTRIAL) ZONE (ROUTE 44/NORTH EAGLEVILLE RD AREA)

Amend Section V.3 as follows:

3. Permitted Uses in the RD/LI Zone requiring Special Permit Approval as per the Provisions of Article V, Section B

* * * * *

~~i. The use of live music within the building confines of any hotel or restaurant provided no outside speakers shall be used in conjunction with the use of such music and provided no music associated with the use is objectionable at the site's property lines. Any special permit issued pursuant to this subsection shall expire on November 1, of each year and, upon application and Public Hearing, may be renewed.~~

~~j. The sale of alcoholic liquor associated with a permitted restaurant, hotel, or commercial recreation facility subject to the provisions of Article X, Section I;~~

* * * * *

AMENDMENTS TO ARTICLE TEN

DELETE SECTION I – SALE OF ALCOHOLIC LIQUOR AND REPLACE WITH LIVE AND/OR AMPLIFIED MUSIC

Delete Section I in its entirety and replace with the following:

I. Live and/or Amplified Music

1. Purpose. The purpose of these regulations is to allow for amplified and live music as accessory to certain assembly related uses while establishing minimum standards to protect adjacent neighborhoods from noise impacts.

2. Applicability.

a. Live and/or amplified music shall be permitted with Zoning Permit approval as an accessory use to the following uses pursuant to the requirements of this Section:

- Restaurant
- Hotel
- Place of Assembly-Banquet Hall
- Commercial recreation facility
- Brewpub/Restaurant, Brewpub, and Brewery

b. The Zoning Permit requirements and restrictions on outdoor music contained in this section shall not apply to public property and properties in the SC-SDD.

3. Outdoor Music. Outdoor music will be allowed during the following days and times.

	<u>Outdoor Music Permitted</u>
<u>Thursday-Saturday</u>	<u>12:00 pm – 10 pm</u>
<u>Sunday</u>	<u>12 pm – 6 pm</u>

Outdoor music on days or times other than those identified in the above table may be authorized by Special Permit approval.

4. Noise and Nuisance Regulations. All events involving live and/or amplified music shall comply with the noise and nuisance regulations contained in Chapters 134 and 135 of the Code of Ordinances.

5. Violations. In addition to penalties for violation identified in Article Eleven, Section F of these regulations and Chapters 134 and 189 of the Mansfield Code of Ordinances, the Zoning Permit for any live/amplified music use may be revoked by the Zoning Agent if there are two or more noise and/or nuisance violations within a 12 month period. Special Permit approval shall be required for reinstatement of any Live/Amplified Music Permit that has been revoked.

AMEND SECTION S.4 – USES PERMITTED IN THE STORRS CENTER SPECIAL DESIGN DISTRICT

Amend Section S.4.a to add the following use:

(xxvii) Brewpub and Brewpub/restaurant as defined in Article IV

* * * * *

AMENDMENTS TO ARTICLE ELEVEN

AMEND SECTION C-ZONING PERMITS

Amend Section C.1.a as follows:

- a. The following provisions for Zoning Permits are in addition to any application requirements associated with uses and/or construction activities that also require the review and approval of the Planning and Zoning Commission. All proposed uses and/or construction activities shall comply with permitted use provisions and all other applicable regulatory provisions. Except as noted below in subsection b, Zoning Permits shall be required for the following ~~construction~~ activities:

* * * * *

6. ~~Limited Live Music Uses pursuant to Article VII, Section L.2.h.~~ Temporary Special Outing Liquor Permits pursuant to Article VII, Section D.15.

* * * * *

TEMPORARY LIQUOR PERMIT TYPES

This page is provided for reference only and is not part of the proposed changes to the Zoning Regulations.

PURSUANT TO DEPARTMENT OF LIQUOR CONTROL TEMPORARY LIQUOR PERMIT APPLICATION

▪ EXCERPTS FROM STATE STATUTES

Sec. 30-25. Special club permit for picnics. (a) A special club permit shall allow the sale of alcoholic liquor by the drink at retail to be consumed at the grounds of an outdoor picnic conducted by a club or golf country club. Such permits shall be issued only to holders of club or golf country club permits and shall be issued on a daily basis subject to the hours of sale in section 30-91, and shall be the same as provided therein for clubs and golf country clubs. The exception that applies to railroad and boat permits in section 30-48 shall apply to such a special club permit. No such club or golf country club shall be granted more than four such special club permits during any one calendar year.

(b) The Department of Consumer Protection shall have full discretion in the issuance of such special club permits as to suitability of place and may make any regulations with respect thereto.

(c) The fee for such a special club permit shall be fifty dollars per day.

Sec. 30-35. Temporary permit for outings, picnics or social gatherings. A temporary beer permit shall allow the sale of beer and a temporary liquor permit shall allow the sale of alcoholic liquor at any outing, picnic or social gathering conducted by a bona fide noncommercial organization, which organization shall be the backer of the permittee under such permit. The profits from the sale of such beer or alcoholic liquor shall be retained by the organization conducting such outing, picnic or social gathering and no portion of such profits shall be paid, directly or indirectly, to any individual or other corporation. Such permit shall be issued subject to the approval of the Department of Consumer Protection and shall be effective only for specified dates and times limited by the department. The combined total of outings, picnics or social gatherings, for which a temporary beer permit or temporary liquor permit is issued pursuant to this section, shall not exceed twelve in any calendar year and the approved dates and times for each such outing, picnic or social gathering shall be displayed on such permit. The fee for a temporary beer permit shall be thirty dollars per day and for a temporary liquor permit shall be fifty dollars per day.

Sec. 30-37b. Charitable organization permit. A charitable organization permit shall allow the retail sale of alcoholic liquor by the drink to be consumed on the premises owned or leased by the organization. Such permit shall be issued subject to the hours of sale in section 30-91 and the combined total of days for which such permit shall be issued shall not exceed twelve days in any calendar year. The dates for which such permit is issued shall be displayed on such permit. The fee for a charitable organization permit shall be fifty dollars.

Sec. 30-37h. Nonprofit corporation permit. A nonprofit corporation permit shall allow the retail sale of wine at auction, provided the auction is held as part of a fund-raising event to benefit the tax-exempt activities of the nonprofit corporation. Each permit shall allow the sale of wine at a maximum of twelve such auctions in any calendar year, except as provided in section 30-37d. The fee for a nonprofit corporation permit shall be twenty-five dollars.

DRAFT STORMWATER MANAGEMENT REGULATIONS

MANSFIELD DEPARTMENT OF PLANNING AND DEVELOPMENT ■ APRIL 28, 2016

OVERVIEW

The proposed changes:

- Establish thresholds for when stormwater management plans are required;
- Identify the minimum information required as part of a stormwater management plan;
- Promote the use of Low Impact Development practices to improve groundwater recharge;
- Require the use of more recent rainfall data (NOAA Atlas 14) to estimate stormwater volumes; and
- Establish minimum stormwater management requirements for small scale projects.

AMENDMENTS TO ARTICLE SIX OF THE ZONING REGULATIONS

AMENDMENTS TO SECTION B.4 – PERFORMANCE STANDARDS

Add new Section B.4.t:

t. Stormwater Management

1. Definitions. For the purpose of this section, the following definitions shall be used:
 - a. *Low Impact Development (LID)*. A stormwater management strategy designed to maintain or replicate the predevelopment hydrologic regime. Hydrologic functions of storage, infiltration and groundwater recharge, as well as the volume and frequency of discharges are maintained through the use of integrated and distributed micro-scale stormwater retention and detention areas; reduction of impervious surfaces, and the lengthening of run-off flow paths and flow time. Other strategies include the preservation/protection of environmentally sensitive site features such as riparian buffers, wetlands, steep slopes, valuable (mature) trees, floodplains, woodlands and highly permeable soils.
 - b. *Impervious Surface*. The area of a building site or lot that is covered by materials that prevent the infiltration of surface water into the ground beneath. Such materials may include, but are not limited to, roofs, paved driveways, concrete slabs, sealed-joint paving blocks or stones, and pools. Impervious surface shall be expressed in terms of square footage or acreage, and percentage of total site or lot area.
 - c. *Predevelopment site hydrology*. The water balance between runoff, infiltration, storage, groundwater recharge, and evapotranspiration prior to the development of a site.
 - d. *Disturbed area*. All land areas that are stripped, graded, grubbed, filled, or excavated at any time during the site preparation or removing vegetation for, or construction of, a project.

"Disturbed area" does not include routine maintenance, but does include re-development and new impervious areas. "Routine maintenance" is maintenance performed to maintain the original line and grade, hydraulic capacity, and original purpose of the facility. Paving impervious gravel surfaces while maintaining the original line and grade, hydraulic capacity and original purpose of the facility is considered routine maintenance. Cutting of trees, without grubbing or stump removal is not considered "disturbed area".

A disturbed area continues to be considered as disturbed area if it meets the definition of "developed area" or "impervious area" following final stabilization.

- e. *Developed area*. "Disturbed area" excluding area that within one calendar year of being disturbed is returned to a condition with the same drainage pattern that existed prior to the disturbance and is revegetated, provided the area is not mowed more than twice per year.
 - f. *Retention Basin*. A vegetated pond that retains a permanent pool of water and is constructed to provide both treatment and attenuation of stormwater flows. Also known as a stormwater pond.
 - g. *Detention Basin*. A vegetated area designed to capture, temporarily hold, and gradually release a volume of stormwater runoff to attenuate and delay stormwater peaks. Also known as a dry pond or dry detention pond.
 - h. *Sheet Flow*. An overland flow or downslope movement of water taking the form of a thin, continuous film over relatively smooth soil or rock surfaces where there are no defined channels and the flood water spreads out over a large area at a uniform depth.
 - i. *Point Discharge*. The release of collected and/or concentrated surface and stormwater runoff from a pipe, culvert or channel.
2. Purpose. The purpose of these stormwater management regulations is to:
- a. Promote the goals and objectives for the conservation of the town's water resources as identified in the Plan of Conservation and Development;
 - b. Preserve the predevelopment site hydrology to the extent practical in order to maintain stream base flow conditions; maintain groundwater recharge; and minimize flooding, erosion, and the effects from runoff on downstream properties;
 - c. Minimize the sources and amounts of pollution transported by stormwater runoff to wetlands, watercourses, groundwater, and other natural resources, and minimize impacts to downstream properties; and
 - d. Promote the use of Low Impact Development (LID) practices in the planning, design, and execution of land development activities.
3. Applicability. These regulations are applicable to any new development and/or modifications to existing land uses that meet the following criteria:
- Any development resulting in the disturbance of one or more acres of land;
 - Residential development of five or more dwellings;
 - Residential development involving the construction of a new road or common driveway serving more than two dwellings;
 - Any development where stormwater will have a point discharge to a wetland or watercourse;
 - Nonresidential development having greater than 10,000 square feet of impervious surface;
 - Other activities as described in the CTDEEP 2004 Connecticut Stormwater Manual (the Manual) as may be amended; or
 - Other developments determined by the Commission to have the potential for stormwater management issues.

4. Stormwater Management Plan. A Stormwater Management Plan (SWM) shall be included in any application that requires the submission and approval of a Site Plan or Subdivision Plan and shall be consistent with the purpose set forth in subsection 2 above, the Mansfield Standards and Specifications, and the principles set forth in the Manual.
 - a. The SWM shall be consistent with generally accepted engineering and site planning practices, and shall include best management practices and Low Impact Development practices where feasible. The plan shall include a summary report describing the nature of the improvement; a SWM improvement plan; supporting computations where appropriate; a description of construction sequence; and a program for operation, maintenance, and monitoring. The professional engineer shall sign and seal all documents which they prepared.
 - b. The design report shall include:
 - Description of existing site and relevant off-site conditions that may be affected by the selection of water quality measures;
 - Rainfall data for the design storms as identified by the NOAA Atlas 14, as amended;
 - An evaluation of existing on-site and off-site hydrology including estimates of preconstruction and post-construction development from the 1-, 2-, 10-, 25-, and 100-year, 24-hour storm events;
 - A discussion of the function for the stormwater management system during typical operation and during a possible failure of a component; and
 - A discussion of the proposed treatment and control measures and their estimated effect on improving the quality of stormwater runoff, specifically for the removal of 80 percent of total suspended solids.
 - c. The improvement plan shall be designed to:
 - Maintain the predevelopment site hydrology to the maximum extent feasible;
 - Reduce peak runoff from 2-year, 24-hour postdevelopment event to 50 percent of the predevelopment conditions for that storm event or to the equivalent of the 1-year, 24-hour storm event unless the Commission determines that such reduction is impractical;
 - Provide zero net increase in peak runoff from the 10-, 25-, and 100-year storm events unless the applicant demonstrates that this would be a detriment to downstream properties;
 - Provide treatment of stormwater runoff in accordance with the Manual;
 - Have conveyance systems meeting the applicable provisions of the CTDOT Drainage Manual; and
 - Minimize structural stormwater components and incorporate vegetative measures such as rain gardens and bioretention basins where appropriate.
 - d. When the proposed development involves modification to an existing developed area, the applicant shall demonstrate that the stormwater quality treatment is being provided to the maximum extent practicable for all undisturbed impervious areas. New impervious areas and existing impervious areas that are disturbed shall meet the standards set forth in subsection (c), above.
5. Small Scale Projects. Any development that meets one or more of the thresholds set forth in subsection 3 but does not require Site Plan or Subdivision approval shall manage stormwater by implementing one or more of the following LID measures. Compliance with this requirement will be determined as part of the Zoning Permit process.

Reducing Hydraulic Connectivity of Impervious Surfaces

- Disconnecting roof drains and directing flows to vegetated areas or infiltration structures (swales, trenches, or drywells)
- Directing flows from paved areas such as driveways to stabilized vegetated areas
- Breaking up flow directions from large paved surfaces
- Encouraging sheet flow through vegetated areas
- Locating impervious areas so they drain to natural systems, vegetated buffers, natural resource areas, on-lot bioretention areas, or permeable soils

Modifying/Increasing Runoff Travel Time

- Maximizing overland sheet flow
- Increasing and lengthening drainage flow paths
- Maximizing use of vegetated swales

Increasing Groundwater Recharge

- Vegetated Swales, Buffers, and Filter Strips
- Bioretention/Rain Gardens
- Dry Wells/Leaching Trenches
- Rainwater Harvesting
- Vegetated Roof Covers (Green Roofs)

More detailed guidance for implementation of these measures can be located in the 2004 Connecticut Stormwater Quality Manual as may be amended.

6. Conflicts. If there are any conflicts between these Regulations and other standards, the more stringent requirement shall apply.

DRAFT REGULATIONS RELATED TO WATER SERVICE CONNECTIONS

MANSFIELD DEPARTMENT OF PLANNING AND DEVELOPMENT ■ APRIL 28, 2016

OVERVIEW

The proposed changes:

- Establish a new water pipeline overlay zoning district to regulate water service connections in that zone
- Extend restrictions of overlay zone to properties that access water service via easements or rights-of-way over properties in the overlay zone.
- Provide criteria for regulating uses served by the Connecticut Water Company pipeline pursuant to the diversion permit issued by DEEP

AMENDMENTS TO ARTICLE TWO

AMEND SECTION 2.A

Add “W – Water Pipeline Overlay Zone” to end of list of Zoning Districts

AMENDMENTS TO ARTICLE SIX

AMENDMENTS TO ARTICLE SIX, SECTION B.4 – PERFORMANCE STANDARDS

Add new section B.4.u as follows:

- u. Special Requirements for Properties Served by Connecticut Water Company. Pursuant to the terms of the water diversion permit issued by CT DEEP in June 2015 for the interconnection of the CWC and UConn water systems, future development served by that pipeline, whether directly or indirectly, shall meet the following requirements in addition to the requirements of Article 10, Section V, where applicable.
 1. Any use that exists as of the effective date of this Regulation may connect to the water main with a service connection(s) properly sized to serve only that use.
 2. No connections shall be authorized for new or expanded uses unless one or more of the following conditions is met:
 - The type and intensity of use is consistent with the Planned Development designation identified in the 2006 POCD; or
 - For properties where a change in use from the 2006 POCD is proposed, the developer must demonstrate that: (1) the proposed use is consistent with the current POCD; and (2) that the water demands of the proposed use are equivalent to or less than the water demands of uses allowed pursuant to the 2006 POCD or that the proposed uses could be supported by an on-site water system. The Commission may require verification of on-site capacity through hydrologic

engineering studies and/or issuance of a permit for a water system in accordance with the Public Health Code.

3. Uses developed using on-site water systems after the effective date of this section may connect to the public water system with a connection sized only to serve that use if their on-site well fails or is contaminated. Any new uses or expansions of use on the site subsequent to connecting to the CWC system shall comply with the provisions of subsection 2, above.
4. Any projects requiring a water main extension and/ or Site Plan, Special Permit or Subdivision approval shall be referred to the Connecticut Water Company Water System Advisory Committee for review and comment.

AMENDMENTS TO ARTICLE TEN: SPECIAL REGULATIONS

ADD NEW SECTION V – WATER PIPELINE OVERLAY ZONE

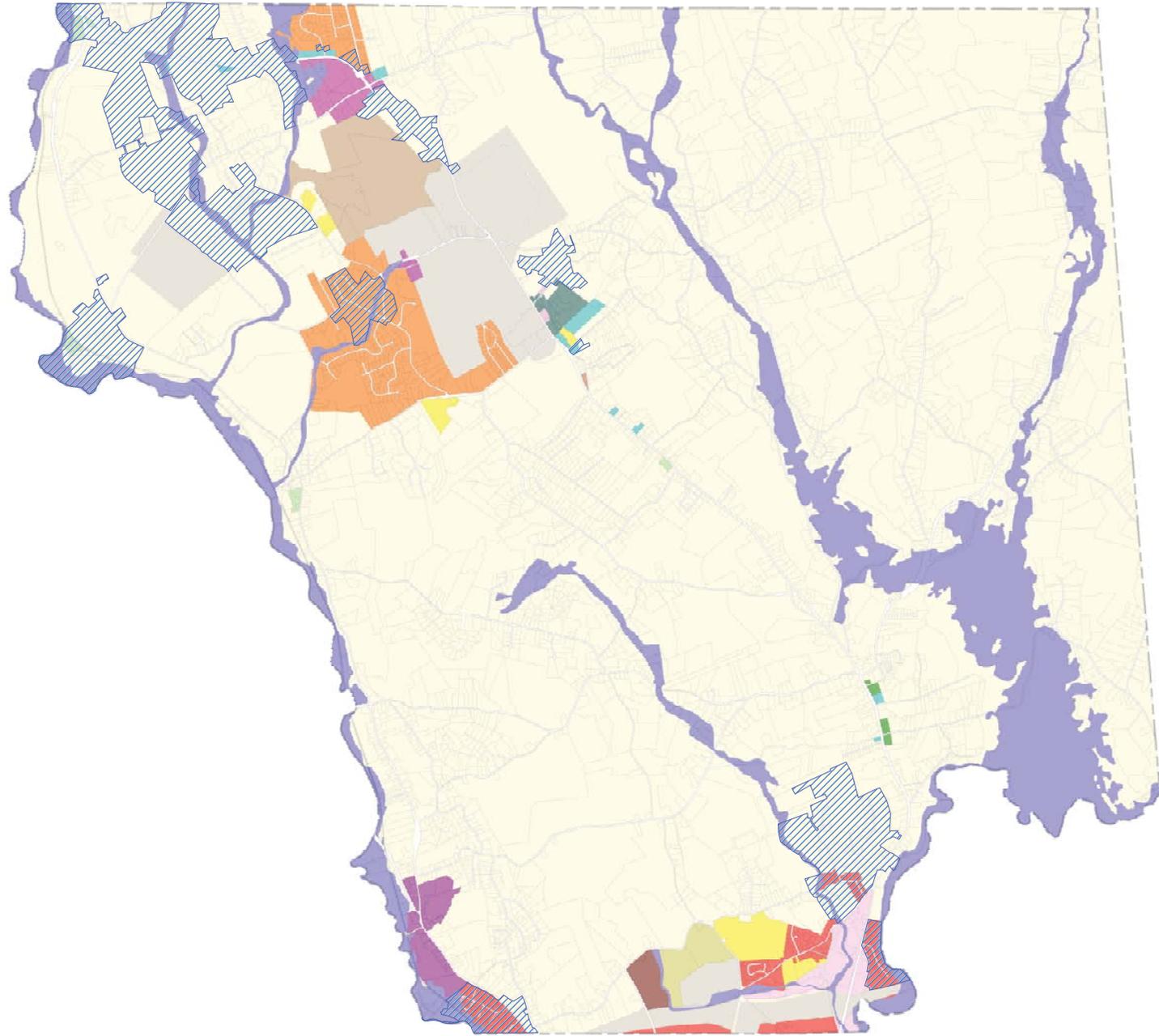
1. Purpose. The purpose of this section is to protect rural areas of the community (designated as Rural Character Conservation Areas in the POCD) from inappropriate development that could be spurred by new water transmission mains traversing these areas prior to reaching areas designated as Smart Growth Development Areas in the POCD. To that end, the presence of water mains in Rural Character Conservation Areas shall not be used to justify the intensification of land uses in a manner that would conflict with the overall character of that specific area as described in the POCD.

To implement this objective, this section establishes standards for connecting to new water mains in Water Pipeline Overlay Zones and identifies limitations specific to properties that will be served by the interconnection between the Connecticut Water Company and University of Connecticut water systems.

2. Applicability. The standards set forth herein are applicable to all properties located within the Water Pipeline Overlay Zone as depicted on the Official Zoning Map.
3. Establishment of New Water Pipeline Overlay Zones. This district may be applied to any area where a water pipeline exists or an extension is proposed that meets one or more of the following requirements:
 - a. The property is designated on the current POCD Future Land Use map as:
 - Conservation/Recreation/Managed Resource Area
 - Rural/Residential/Agriculture/Forestry;
 - Rural Residential Village;
 - Village Center; or
 - Rural Commercial.
 - b. The property was designated in the 2006 POCD as:
 - Low Density Residential; or
 - Planned Office/Mixed Use; or
 - Neighborhood Business/Mixed Use.
4. Development Requirements. Any owner of property located within a Water Pipeline Overlay Zone that desires to connect to the water main shall meet the following requirements.
 - a. Any property that will be served by the Connecticut Water Company shall comply with the requirements of Article 6, Section B.4.u.

- b. Any use that exists as of the effective date of this Regulation may connect to the water main with a service connection(s) properly sized to serve only that use.
 - c. New uses that are permitted in the underlying zone may connect to the water main upon receipt of a Zoning Permit.
 - d. New residential developments requiring subdivision approval shall be limited to the number of units allowed in the underlying zone either through conventional design or cluster design pursuant to the Mansfield Subdivision Regulations. While the overall number of units shall be limited to what could have been developed without access to a public water system, the Commission may authorize alternative minimum lot size, frontage and setback requirements by Special Permit to preserve a greater amount of open space.
 - e. The Commission may approve a Special Permit to allow higher density development to occur on a portion of a property while preserving the remainder of the property as open space provided the overall density of development on the entire property is not greater than what can be achieved in the underlying zone. The Commission may require a density analysis that gives consideration to such features as wetlands and water courses, steep slopes, soil conditions, and access to determine the development potential of the property in the underlying zone.
5. Easements and Water Main Extensions. Extension of water service to properties located outside of the Water Pipeline Overlay Zone through an easement or right-of-way on property located within the Water Pipeline Overlay Zone shall subject the property being served to the same development restrictions identified in Section 4, above, if the property being served meets one or more of the requirements for establishment of a Water Pipeline Overlay Zone established in Section 3.

DRAFT-POTENTIAL WATER PIPELINE
OVERLAY ZONE LOCATIONS
APRIL 28, 2016



-  Water Pipeline Overlay Zone (W)
-  Residence 20 Zone (R-20)
-  Residence 90 Zone (R-90)
-  Rural Agricultural Residence 90 Zone (RAR-90)
-  Design Multiple Residence Zone (DMR)
-  Pleasant Valley Residence/Agriculture Zone (PVRA)
-  Pleasant Valley Commercial/Agriculture Zone (PVCA)
-  Planned Business 1 Zone (PB-1)
-  Planned Business 2 Zone (PB-2)
-  Planned Business 3 Zone (PB-3)
-  Planned Business 4 Zone (PB-4)
-  Planned Business 5 Zone (PB-5)
-  Neighborhood Business 1 Zone (NB-1)
-  Neighborhood Business 2 Zone (NB-2)
-  Professional Office 1 Zone (PO-1)
-  Storrs Center Special Design District (SC-DD)
-  Research and Development Limited Industrial Zone (RD/LI)
-  Flood Hazard Zone (FH)
-  Institutional Zone (I)
-  Business Zone (B)

RECEIPT OF APPLICATION FOR A SPECIAL PERMIT:

_____, move and _____ seconds to receive the

Special Permit Application (File #1340)

submitted by **Dustin and Kristen Ricci**

for **an efficiency unit within a single family dwelling**

on property located at **819 Middle Turnpike**

as shown on plans dated **3-10-16**

as shown and described in application submissions, and to refer said application to staff and committees, for review and comments and to set a **Public Hearing for 5-16-16.**

SPECIAL PERMIT APPLICATION
(see Article V, Section B of the Zoning Regulations)

Mansfield Planning and Zoning Commission

File # 1340
Date 4-21-16

1. Name of development (where applicable) _____
2. Proposed use of the property is Single family house with efficiency unit.
in accordance with Sec.(s) _____ of Article VII (Permitted Use provisions) of the Zoning Regulations
3. Address/location of subject property 819 Middle Turnpike
Assessor's Map 3 Block 9 Lot(s) 9 Vol. 778 Page 130
4. Zone of subject property BAR90 Acreage of subject property 17.3 total 2.78 in mansfield
5. Acreage of adjacent land in same ownership (if any) _____
6. APPLICANT Dustin Ricci _____
(please PRINT) Signature
Street Address 819 middle turnpike Telephone 860-933-4112
Town Storrs Mansfield Zip Code 06268
- Interest in property: Owner Optionee _____ Lessee _____ Other _____
- (If "Other", please explain) _____

7. OWNER OF RECORD: Dustin Ricci _____
(please PRINT) Signature
(OR attached Purchase Contract _____ OR attached letter consenting to application _____)
Street Address 819 middle turnpike Telephone 860-933-4112
Town Mansfield Zip Code 06268

8. AGENTS (if any) representing the applicant who may be directly contacted regarding this application:
- Name _____ Telephone _____
Address _____ Zip Code _____
Involvement (legal, engineering, surveying, etc.) _____
- Name _____ Telephone _____
Address _____ Zip Code _____
Involvement (legal, engineering, surveying, etc.) _____

Statement of Use
819 Middle turnpike
Efficiency Unit

Nature of use:

Dustin and Kristen Ricci live at 819 Middle turnpike. The efficiency unit at is being proposed to give Susan Foisy from Orlando Florida (Dustin's Mother) a place to live for the summer once she retires.

We have reviewed the zoning regulations for efficiency units as outlined by the town of Mansfield and feel we are good candidates for this zoning change.

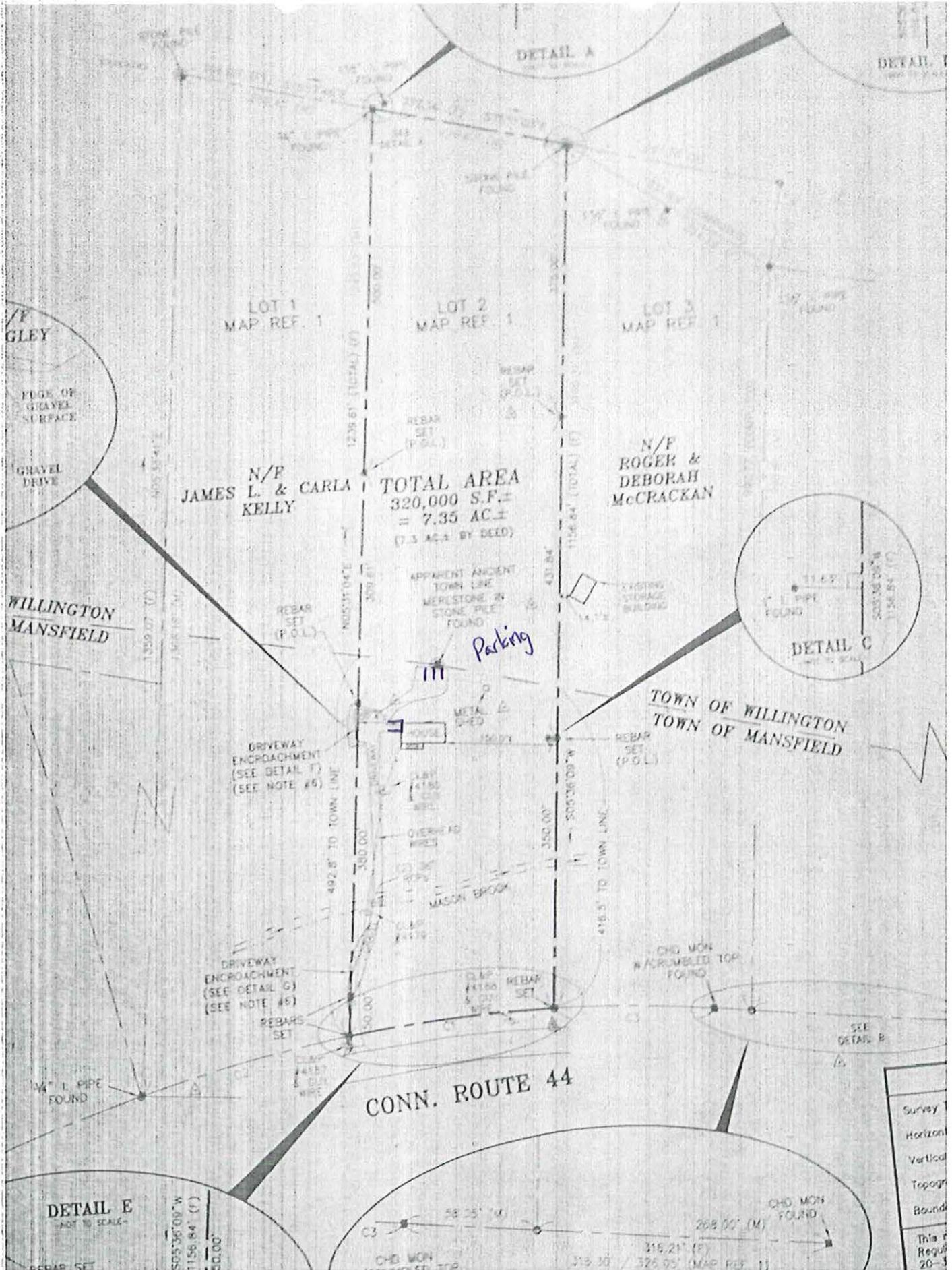
"This amendment will meet an identified need to provide housing for immediate family members, usually the parent(s) of either spouse. In addition, it will also allow young individuals or couples another housing option when unable to purchase houses, given the rapid and expected continued increase in the price of the conventional single-family unit. The efficiency unit may also act as a source of income for financially overburdened families. It also may allow the elderly to continue to live in their own homes knowing there is someone else on the premises in case of emergency."

Site improvements:

The proposed efficiency unit will be in the walk-out basement of 819 Middle Turnpike. All improvements will remain within the existing building footprint. A floor plan has been submitted along with this Statement of Use that shows half of the basement being finished to include a bathroom, bedroom with closet, and open floor plan kitchen/living/dining room.

Other information :

The house was built in 1969 with a walkout basement (see pictures) that provides access to outside. Access to the driveway from the walkout basement efficiency unit is via a brick walkway. Additionally the efficiency will be accessible through the main dwelling by means of the current interior basement staircase. The finished size of the efficiency will be approximately 767 square feet. This is 33% of the existing dwelling which is currently 2301 square feet (567/2301). The house currently has 4 parking spaces (see pictures) in the driveway to accommodate the two vehicles currently being used by the residence and at least 1 additional vehicle.



Phase 1

Renovation

DRAWINGS PROVIDED BY:

Dustin Ricci

DATE:

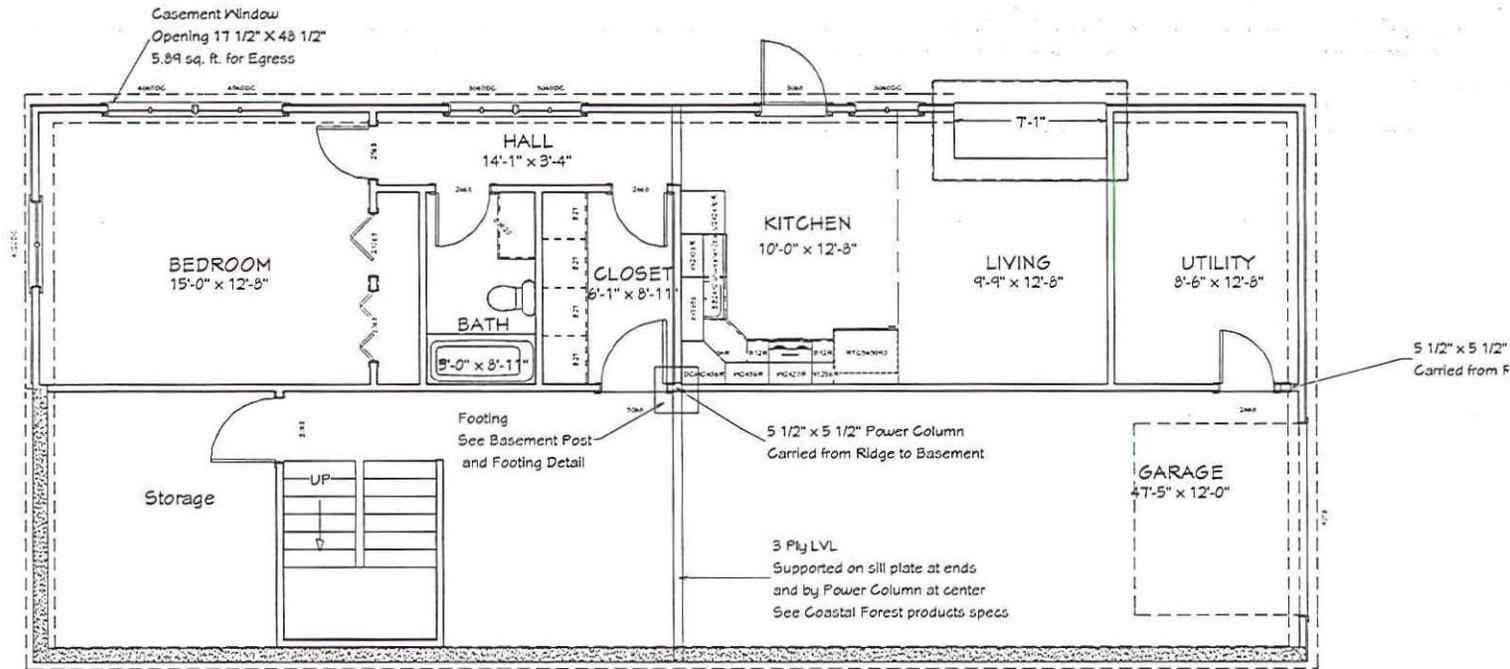
3/10/2016

SCALE:

1/4"=1'

SHEET:

1



Phase 1

Renovation

Dustin Ricci

DRAWINGS PROVIDED BY:

DATE:

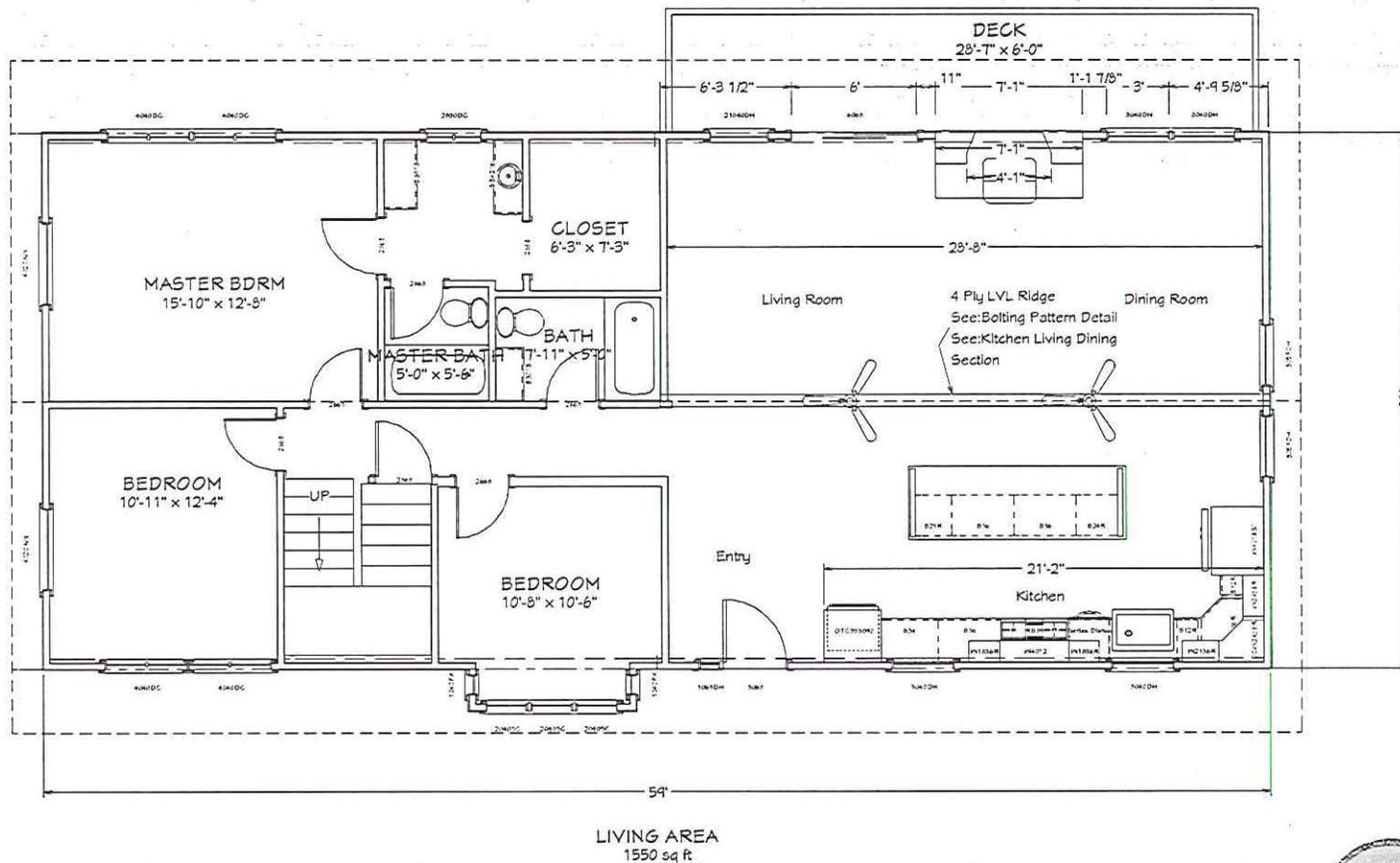
3/10/2016

SCALE:

1/4"=1'

SHEET:

2



Phase 1

Renovation

DRAWINGS PROVIDED BY:
Dustin Ricci

DATE:

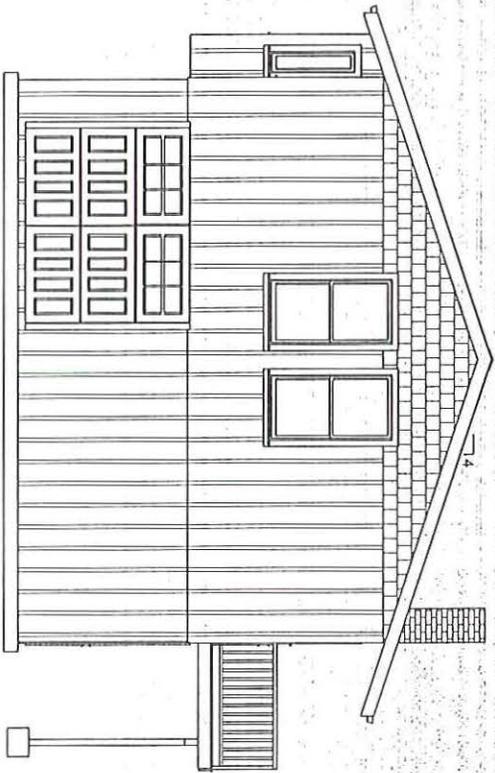
3/10/2016

SCALE:

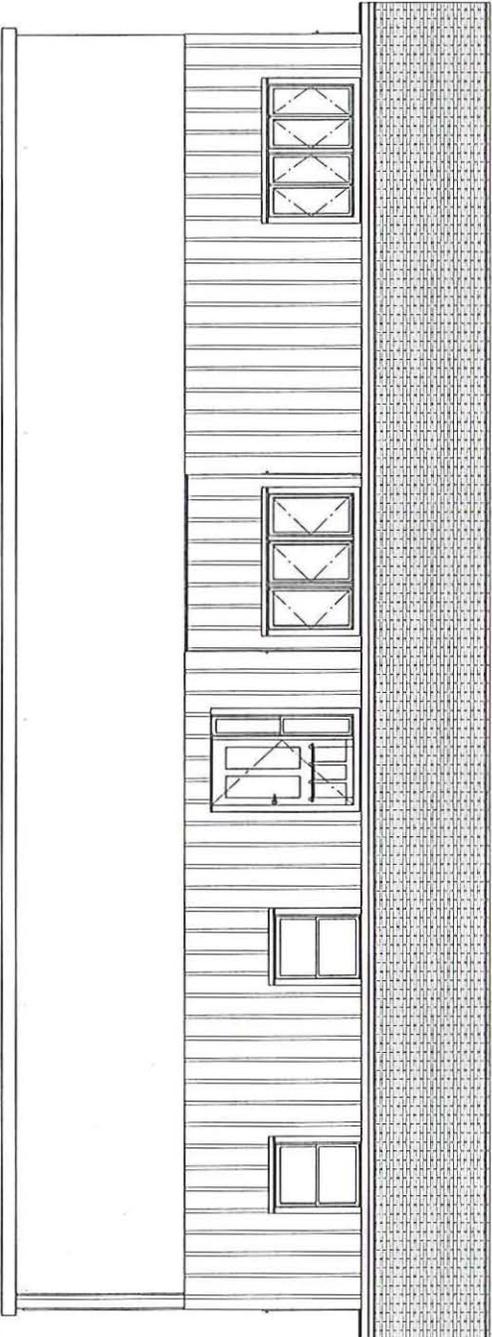
1/4"=1'

SHEET:

3



Elevation 12



Elevation 17



Phase 1

Renovation

DRAWINGS PROVIDED BY:
Dustin Ricci

DATE:

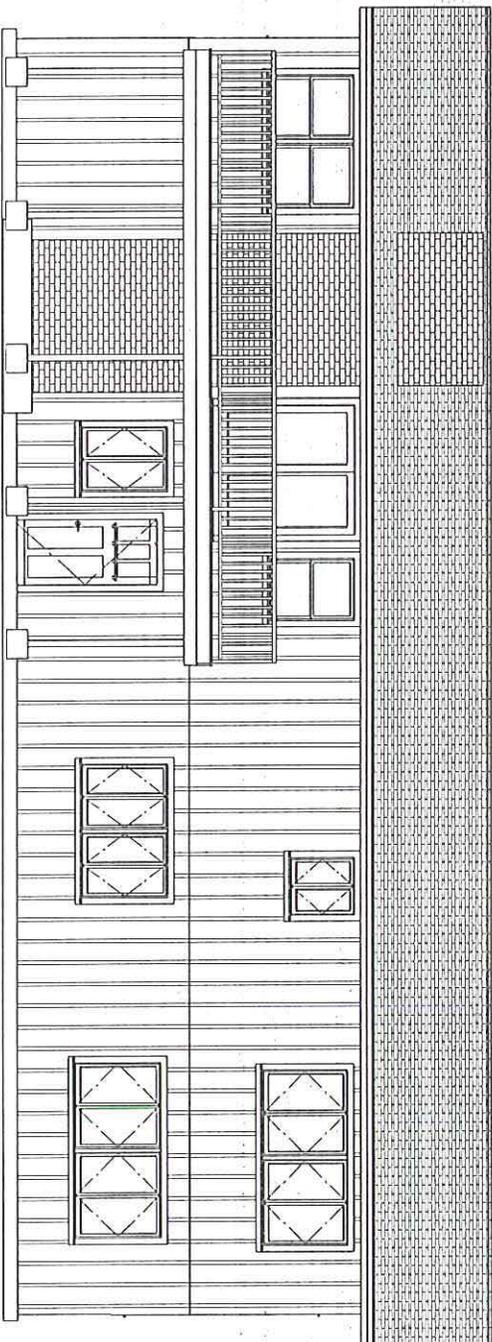
3/10/2016

SCALE:

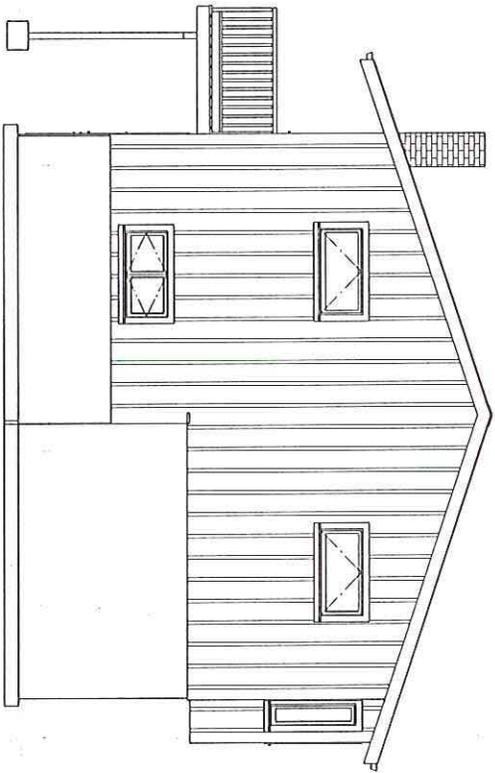
1/4"=1'

SHEET:

4



Elevation 20



Elevation 19







RECEIPT OF APPLICATION FOR AMENDMENT TO THE ZONING REGULATIONS:

_____, MOVE and _____ seconds to receive the application

submitted by **Attorney Samuel L. Schrager, Esq.**

to **add “residential uses” to the list of allowable uses within the Business Zone**

of the Mansfield Zoning Regulations, File **#1341**

as submitted to the Commission, and to instruct the applicant to work with the on final wording prior to advertising, and to refer said application to CCROG and the Town Attorney for review and comment and to set a Public Hearing for **June 20, 2016**.



Samuel L. Schrager
(t) 860.548.2656
(f) 860.487.0030
sschrager@uks.com

April 25, 2016

Linda A. Painter, Town Planner
Janell M. Mullen, Assistant Town Planner and Zoning Enforcement Officer
Town of Mansfield
4 South Eagleville Road
Storrs, Connecticut 06268

Re: **17 Flaherty Road**
Storrs, Connecticut

Dear Ms. Painter and Ms. Mullen:

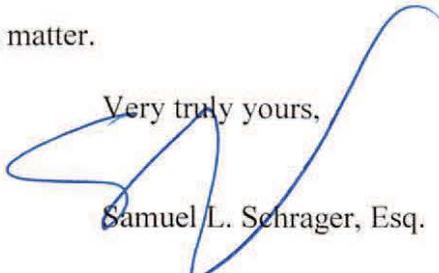
Enclosed please find an application for a change of zoning text with regard to the above referenced property. This application is made on behalf of my client, Makuch and Company, owner of the property. The application seeks the addition of residential uses for the Business Zone. I have provided two (2) alternative changes, the first under Article VII. Q. 2 allowing the use with site plan approval and the second under Article VII. Q. 3 allowing the use with special permit approval.

This application includes the required filing fee of \$560.00, a Statement of Justification, a Notice to Property Owners within 500 feet of the Business Zone, a copy of the zoning regulations regarding approval considerations for amendments and adoption/protests, a list of the property owners within 500 feet of the Business Zone, and a map showing the Business Zone.

I respectfully request that this matter be placed on the agenda of the Planning and Zoning Commission for its June 6, 2016 meeting.

Thank you for your assistance in this matter.

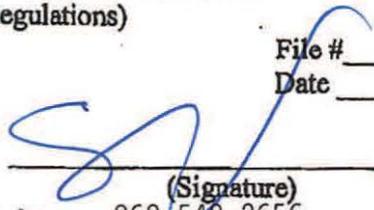
Very truly yours,


Samuel L. Schrager, Esq.

enclosures

APPLICATION TO AMEND THE ZONING REGULATIONS
(See Article XIII of the Zoning Regulations)

File # _____
Date _____

1. **APPLICANT** Samuel L. Schragar, Esq.
(Please PRINT)  (Signature)
Street Address 1733 Storrs Road Telephone 860-548-2656
Town Storrs, CT Zip Code 06268

2. **AGENT** who may be contacted directly regarding this application:

Name (please PRINT) Address

Telephone number

3. List article(s)/section(s) of Zoning Regulations to be amended:
(Consideration should be given to interrelated sections that must also be modified to ensure consistency within the Regulations)

Art. VII.Q.2 or in the alternative Art. VII.Q.3

4. Exact wording of proposed amendment(s) – use separate sheet if necessary:

See attached

5. Statement of Justification addressing approval considerations of Article XIII, Section C and
(1) substantiating the proposal's compatibility with Mansfield's Plan of Development;
(2) the reasons for the proposed amendment (including any circumstances or changed conditions that justify the proposal and how the amendment would clarify or improve the Zoning Regulations);
(3) the effect the change would have on the health, safety, welfare and property values of Mansfield residents
(use separate sheet if necessary)

see attached

6. The following have been submitted as part of this application:

 X Application fee

 Reports or other information supporting the proposed amendment (list or explain):

(end of applicant's section)

* * * * *

(for office use only)

Date application was received by PZC: _____ Fee submitted _____

Date of Public Hearing _____ Date of PZC action _____

Action: Approved _____ Effective _____

Denied _____

Comments:

Chairman, Mansfield Planning & Zoning Commission

Date

Alternative 1

ARTICLE VII

Q. Uses Permitted in the Business Zone

1. General

The uses listed below in Sections Q.2 and Q.3 in separate categories and associated site improvements are permitted in the Business zones, provided any special requirements associated with the particular use are met and provided either site plan or special permit approval is obtained (distinguished below in Sections Q.2 and Q.3) for any of the activities delineated in Article VII, Section A.2. Article VII, Sections A.3 and A.4 also include or reference provisions authorizing the Zoning Agent to approve changes in the use of existing structures or lots and authorizing the PZC Chairman and Zoning Agent to approve minor modifications of existing or approved site improvements.

2. Categories of permitted uses in the Business Zone requiring the site plan approval as per the provisions of Article V, Section A.

a. Category A

1. Retail uses that comply with the following criteria:
 - the use results in a maximum of four separate stores, shops or businesses on the subject lot; and
 - the use involves a maximum of two distinct or independent retail operations per store, shop or outdoor area
 - any retail use selling food items also shall be considered and reviewed as a restaurant use if said use includes any seats or counter space or other provisions designed for food consumption within the subject building or on the subject site. Review features such as adequacy of sanitary systems and parking and waste disposal/litter issues shall be considered.

Any uses initiating or promoting on-premises or onsite food consumption or on-premises food preparation shall obtain Planning and Zoning Commission approval as per the procedures contained in Article V, Section B.9.

Depending on the nature of the food service use, special permit approval may be required by the Planning and Zoning Commission.

2. Banks

b. Category B

1. professional offices and personal services such as studios, beauty salons, barbers;
2. repair services or businesses, including the repair of bicycles, radios, televisions, home appliances, office equipment, computers, watches, clocks, shoes and similar uses, but excluding the repair of internal combustion

c. Category C

Schools, libraries, State-licensed group day care homes or State-licensed child day care centers as defined by the State Statutes, and other educational facilities. State-licensed family day care homes are specifically authorized in Article VII, Section D.

d. Category D

commercial printing or production accessory to an onsite retail business, provided the following conditions are met:

- the floor area used for such printing or production shall be limited to 3,000 square feet;
- not more than 5 employees shall be engaged in such printing or production;
- only manually or electrically driven machinery shall be used;
- all goods prepared shall be sold to customers on the premises

e. Category E

commercial parking lots, provided the provisions of Article X, Section D are met

f. Category F

One single or one two-family dwelling per 8,000 square foot lot

Alternative 2

ARTICLE VII

Q. Uses Permitted in the Business Zone

1. General

The uses listed below in Sections Q.2 and Q.3 in separate categories and associated site improvements are permitted in the Business zones, provided any special requirements associated with the particular use are met and provided either site plan or special permit approval is obtained (distinguished below in Sections Q.2 and Q.3) for any of the activities delineated in Article VII, Section A.2. Article VII, Sections A.3 and A.4 also include or reference provisions authorizing the Zoning Agent to approve changes in the use of existing structures or lots and authorizing the PZC Chairman and Zoning Agent to approve minor modifications of existing or approved site improvements.

2. Categories of permitted uses in the Business Zone requiring the site plan approval as per the provisions of Article V, Section A.

a. Category A

1. Retail uses that comply with the following criteria:

- the use results in a maximum of four separate stores, shops or businesses on the subject lot; and
- the use involves a maximum of two distinct or independent retail operations per store, shop or outdoor area
- any retail use selling food items also shall be considered and reviewed as a restaurant use if said use includes any seats or counter space or other provisions designed for food consumption within the subject building or on the subject site. Review features such as adequacy of sanitary systems and parking and waste disposal/litter issues shall be considered.

Any uses initiating or promoting on-premises or onsite food consumption or on-premises food preparation shall obtain Planning and Zoning Commission approval as per the procedures contained in Article V, Section B.9.

Depending on the nature of the food service use, special permit approval may be required by the Planning and Zoning Commission.

2. Banks

b. **Category B**

1. professional offices and personal services such as studios, beauty salons, barbers;
2. repair services or businesses, including the repair of bicycles, radios, televisions, home appliances, office equipment, computers, watches, clocks, shoes and similar uses, but excluding the repair of internal combustion

c. **Category C**

Schools, libraries, State-licensed group day care homes or State-licensed child day care centers as defined by the State Statutes, and other educational facilities. State-licensed family day care homes are specifically authorized in Article VII, Section D.

d. **Category D**

commercial printing or production accessory to an onsite retail business, provided the following conditions are met:

- the floor area used for such printing or production shall be limited to 3,000 square feet;
- not more than 5 employees shall be engaged in such printing or production;
- only manually or electrically driven machinery shall be used;
- all goods prepared shall be sold to customers on the premises

e. **Category E**

commercial parking lots, provided the provisions of Article X, Section D are met

3. **Categories of permitted uses in the Business Zone requiring special permit approval as per the provisions of Article V, Section B.**

a. Category A

1. Retail uses that comply with the following criteria:

- the use results in five or more separate stores, shops or businesses on the subject lot; and
- the use involves more than two distinct or independent retail operations per store, shop or outdoor area. (For example: a flea market operation where more than two independent merchants utilize a particular area.)
- any retail use selling food items also shall be considered and reviewed as a restaurant use if said use includes any seats or counter space or other provisions designed for food consumption within the subject building or on the subject site. Review features such as adequacy of sanitary systems and parking and waste disposal/litter issues shall be considered.

Any uses initiating or promoting on-premises or onsite food consumption or on-premises food preparation shall obtain Planning and Zoning Commission approval as per the procedures contained in Article V, Section B.9.

Depending on the nature of the food service use, special permit approval may be required by the Planning and Zoning Commission.

2. See Article VII, Section L.4 for special provisions for changes in use of existing shopping centers.

b. Category B

Commercial recreation facilities such as theaters, racquetball, tennis and physical fitness centers; and bowling alleys. All changes in use within this subsection require special permit approval.

c. Category C

d. Category D

1. Automotive sales

2. Automotive service stations and garages including the sale of gasoline and other automotive fuels
3. The sales and repair of motorcycles and small internal combustion engines such as lawn mowers, snowmobiles and chainsaws.

e. Category E

f. Category F

Dry cleaning establishments, including self-service, provided the use is served by public sewers.

g. Category G

1. Hotels, motels, tourist homes
2. Boarding Houses, Fraternity and Sorority Houses

h. Category H

i. Category I

Expansions of existing mobile manufactured housing parks provided special permit approval is obtained in accordance with the provisions of Art. X, Sec. F and Art. V, Sec. B.

j. Category J

One single or one two-family dwelling per 8,000 square foot lot.

ZONING REGULATION AMENDMENT APPLICATION

**ARTICLE VII. Q. USES PERMITTED IN THE BUSINESS
ZONE**

Town of Mansfield Planning and Zoning Commission

STATEMENT OF JUSTIFICATION

April 25, 2016

***Project Applicant:*
Samuel L. Schragger, Esq.
1733 Storrs Road
Storrs, Connecticut 06268**

INTRODUCTION

The property which is the subject of this application contains approximately 1 ½ acres of land and is situated between the easterly side of Storrs Road and the westerly side of Flaherty Road. There are three (3) parcels within the Business Zone.

The parcel designated as 16.61.5 and known as 11 Flaherty Road is used as a single family residence with a detached two (2) car garage. This residence is one of the oldest homes in Mansfield, built in 1763. It has been used as a residence since the inception of zoning. The parcel contains .3 acres of land, is triangular in shape, and fronts on Flaherty and Storrs Roads. The entrance to the property is entirely on Flaherty Road. This property is owned by Mr. Beheshti.

The parcel designated as 16.61.4 and known as 17 Flaherty Road is currently used as a residence. Originally the structure was a barn-type building used as a welding shop for the individual living across Flaherty Road prior to and after the inception of zoning. In the 1990's the building was improved and converted into a professional office. This parcel contains .2 acres of land, fronting on Flaherty and Storrs Roads. A large retaining wall separates the building site of the parcel from the remainder of the land which is at or near grade with Storrs Road. The building is accessible only from Flaherty Road. This property is owned by Makuch and Company.

The parcel designated as 16.61.3 and known as 1132 Storrs Road is used primarily as a bank and owned by Liberty Bank. The lot is approximately 1.5 acres in area and the zoning boundary divides the property with the northerly portion being in an RAR 90 zone. The structure was originally built in 1946 and used as a gasoline station and automotive repair shop. Liberty Bank purchased the property and re-built it for banking purposes with two (2) additional retail spaces.

The subject application expands the allowable uses permitted in the Business Zone. All present uses remain a part of the regulation and residential uses are added. The application presents two (2) alternatives with respect to residential uses. Section Q.2. concerns uses permitted with site

plan approval. Section Q.3. concerns uses permitted with special permit approval.

COMPATIBILITY OF ZONING REGULATION AMENDMENT WITH MANSFIELD PLAN OF DEVELOPMENT

The October 8, 2015 Mansfield Plan of Conservation and Development provided for a number of policy goals including natural systems, open space, parks and agricultural lands, community heritage and sense of place, and community life. The Plan also specifically addresses housing and future land use and community design.

Goals for housing place concentration on affordability and transportation concerns. The land within the Business Zone is comprised for small lots which are not served by public utilities. These parcels, even if combined into a single lot will be too small for major housing development. Rather they will continue to serve as individual properties with limited housing options. Therefore, it is reasonable to conclude that each will only be able to support single structures similar to what currently exists and of a more modest nature. The Town of Mansfield has recently constructed sidewalks along Storrs Road and Flaherty Road which create better and safer pedestrian access from the Business Zone to the University of Connecticut and Storrs Center.

Goal 7.1 of the Plan calls for greater housing for low and moderate income individuals and families. The proposed text amendment will help in small measure to achieve this goal based on the nature of the neighborhood which includes those properties on the easterly side of Flaherty Road opposite the Business Zone. Goal 7.4 of the Plan seeks opportunities for a wide range of housing options. Generally new housing in the Town of Mansfield includes single-family residences and large apartment complexes. The addition of residential uses in the Business Zone will provide smaller individual housing options.

The Plan specifically addresses the Route 195/Flaherty Road area where the Business Zone is situated. Design objectives for this area include providing appropriate transitions to adjacent residential areas and walkable environment on public streets. As noted above, residential options for the

Business Zone are compatible with its neighborhood and sidewalks nearby help to achieve this objective.

REASONS FOR ZONE TEXT CHANGE

Two of the three parcels within the Business Zone have structures of a residential style and nature. One is of historic significance and although used for residential use since before zoning, such a use is compatible with neighboring properties. Likewise, the structure with a professional office designation also blends well with the neighboring residential uses. The current business uses are not likely to be employed for the two parcels fronting on Flaherty Road as they present traffic and access concerns as commercial properties.

EFFECTS ON HEALTH, SAFETY, WELFARE, AND PROPERTY VALUES

The amendment of the zoning regulations as to the Business Zone will not adversely impact the health, safety, welfare and property values for neighboring land or the Town of Mansfield.

Residential uses rarely have adverse effects to neighboring residential properties. In the case of the Business Zone the inclusion of residential uses will be consistent with the neighborhood and the current non-conformities they presently include.

**Mansfield Republican Town Committee
Mansfield, Connecticut**

April 28, 2016

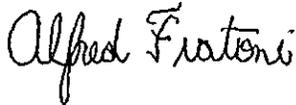
**Mary Stanton, Town Clerk
Town of Mansfield
4 South Eagleville Road
Storrs, CT 06268**

Dear Ms. Stanton:

This letter is to notify you of the Mansfield Republican Town Committee's endorsement of Katie Fratoni, 25 Valley View Drive, Storrs, CT 06268, to fill the vacancy of Kay Holt as Alternate on the Planning & Zoning Commission.

We are pleased that Katie has accepted this appointment and know she will be an asset to the PZC.

Very truly yours,



**Alfred Fratoni
Chairman
Mansfield Republican Town Committee
25 Valley View Drive
Storrs, CT 06268**

MEMORANDUM

Town of Mansfield
Town Manager's Office
4 So. Eagleville Rd., Mansfield, CT 06268
860-429-3336
Hartmw@mansfieldct.org



To: Planning and Zoning Commission
CC: Linda Painter, Director of Planning and Development
From: Matt Hart, Town Manager
Date: April 28, 2016
Re: Referral: 2016-17 Capital Improvement Budget

Please see the attached information regarding the above captioned matter. Please review and comment on the proposal, pursuant to your authority under Connecticut General Statutes Section 8-24.

Your assistance with this matter is greatly appreciated.



Department of Planning and Development

Date: April 27, 2016
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director
Subject: 2016/2017 Capital Improvement Budget

I have reviewed the proposed budget for the 2016/17 Capital Improvement Program (attached) with respect to Plan of Conservation and Development goals and objectives. The following comments and recommendation are presented for consideration by the PZC:

- Similar to last year's budget, the proposed Capital Improvement Program (CIP) budget for 2016/17 has very few major projects or equipment purchases. A majority of the listed projects involve replacement equipment and vehicles, maintenance of existing town facilities, software projects and funds for ongoing initiatives.
- The proposed Five Year CIP (FY16/17 through FY20/21) includes anticipated projects for future years. Projects identified in subsequent years are only approved for planning purposes; no expenditure authority is granted until they are included in a future year's capital fund budget.
- Major capital projects included in the proposed 2016/17 capital fund budget include:
 - \$873,000 for renovations to the Middle School gymnasium.
 - \$750,000 for road resurfacing
 - \$450,000 for replacement of the Vinton Boilers
 - \$283,550 for replacement of Self Contained Breathing Apparatus
 - \$245,000 for ambulance replacement
 - \$200,000 for school building maintenance
 - \$200,000 for school technology improvements
 - \$200,000 for dump truck/plow replacement
 - \$160,000 for a school facilities study
 - \$110,000 for Ravine Road improvements

Please note that the above-referenced costs are based on the Town Manager's proposed budget. The final budget allocations are subject to change.

All of the proposed capital projects are considered consistent with the Town's Plan of Conservation and Development. For a number of years, the PZC has responded to the 8-24 referral on the CIP Budget by noting that some projects may need approval by the PZC and/or the IWA, and that adequate time must be given for review and action. If the Commission concurs, the following motion would be in order:

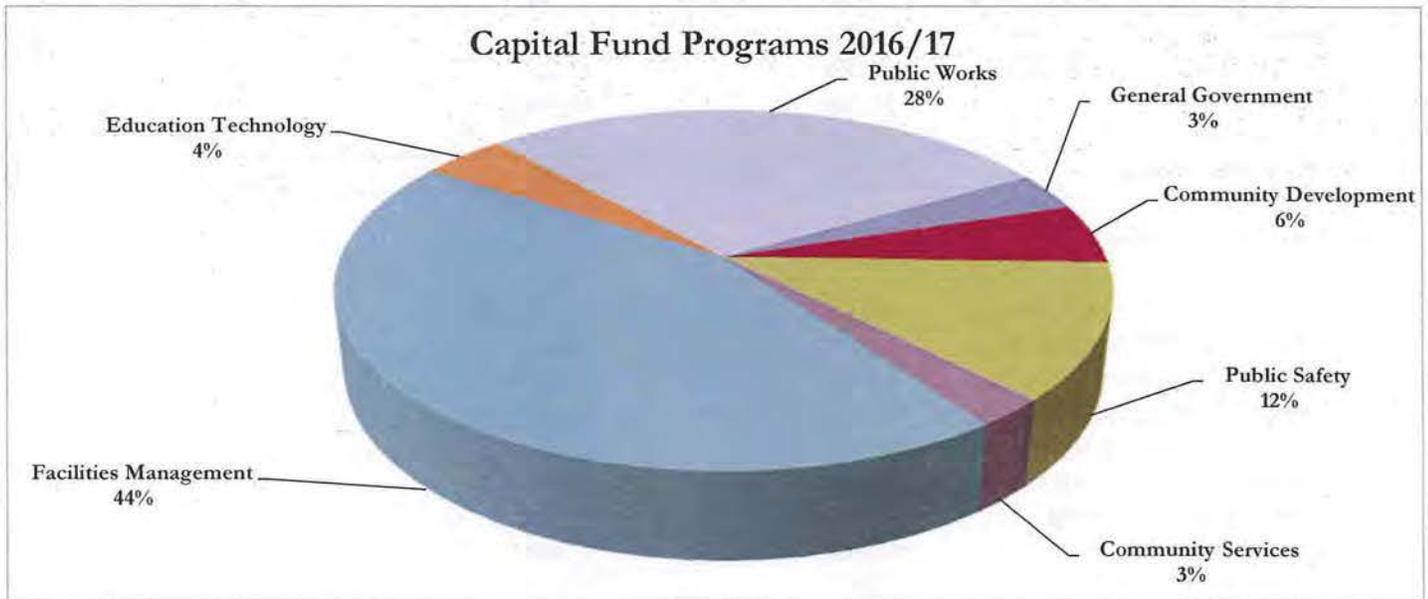
_____ MOVES, _____ seconds that the PZC make a finding that the proposed FY2016-2017 Capital Improvement Program Budget and the proposed projects contained therein are consistent with the Mansfield Tomorrow Plan of Conservation and Development. Nothing herein shall imply PZC approval for any proposed projects. Departments involved with land use projects and site improvements must coordinate plans with the Director of Planning and Development and/or the Inlands Wetland Agent, and make such applications to the PZC or IWA as is required by the Mansfield Zoning and Inland Wetlands Watercourse Regulations.

Town of Mansfield
Proposed Capital Projects Fund Financing Plan - 2016/17

	Budget 2016/17	LOCIP	CNR Fund	Bonds	Other Funds	State and Federal Grants	Town Aid Road Fund
General Government							
Classification & Compensation St	30,000		30,000				
Fleet Vehicle	17,000		17,000				
Furniture & Fixtures	15,000		15,000				
Police Service Consulting Assistar	60,000		60,000				
Pool Cars	17,000		17,000				
Software	24,830		24,830				
Total General Government	163,830	-	163,830	-	-	-	-
Public Safety							
Fire and Emergency Services							
Personal Protective Equip.	15,000		15,000				
Replacement 83MF	35,000		35,000				
Replacement Ambulance 607	245,000		245,000				
Replacement of SCBA	283,550		14,170			269,380	
Total Public Safety	578,550	-	309,170	-	-	269,380	-
Public Works							
Engineering CAD Upgrades	30,000		30,000				
Guiderails Imprv/Replacements	50,000		50,000				
Large Dump Trucks w/Plows	200,000		200,000				
Medium Dump Trucks	47,000		47,000				
Pickup/Small Dump Truck	25,000		25,000				
Ravine Road Improvements	110,000		110,000				
Road Drainage & MS4 Requirem	70,000		70,000				
Road/Resurfacing	750,000	184,000	436,000				130,000
Transp/Walkways per Town's Pri	30,000		30,000				
Trees	35,000		35,000				
Vac all Truck	11,000		11,000				
Total Public Works	1,358,000	184,000	1,044,000	-	-	-	130,000
Facilities Management							
Town							
Animal Shelter Building Repairs	2,000		2,000				
Comm Center Building Repairs	35,000		35,000				
Custodial Equipment	10,000		10,000				
Day Care Building Repairs	20,000		20,000				
Fire Stations Building Repairs	60,000		60,000				
Historical Society Building Repair	35,000		35,000				
Indoor Air Quality Testing	5,000		5,000				
Library Building Repairs	45,000		45,000				
Maintenance Projects	10,000		10,000				
Park Building Repairs	12,000		12,000				
Public Works Building Repairs	65,000		65,000				
Roof Repairs	15,000		15,000				
Security Improvements	10,000		10,000				
Town Hall Building Repairs	25,000		25,000				
Work Trucks	70,000		70,000				

Town of Mansfield
Proposed Capital Projects Fund Financing Plan - 2016/17

	Budget 2016/17	LOCIP	CNR Fund	Bonds	Other Funds	State and Federal Grants	Town Aid Road Fund
Facilities Management (cont'd)							
Education							
Facilities Study	160,000	-	160,000		-		
Mansfield Middle School Gym	873,000			873,000			
School Building Maintenance	200,000		200,000				
Vinton Boiler	450,000			450,000			
Total Facilities Management	2,102,000	-	779,000	1,323,000	-	-	-
Community Services							
Fitness - Equipment	45,790						
Invasive Control	14,000		14,000				
Park Improvements	20,000		20,000				
Playscapes and Playground Surfac	40,000		40,000				
Total Community Services	74,000	-	74,000	-	-	-	-
Community Development							
Storrs Center Reserve	260,000		260,000				
Total Community Develop.	260,000	-	260,000	-	-	-	-
Education							
Technology Infrastructure	200,000		200,000				
Total Education	200,000	-	200,000	-	-	-	-
TOTAL C.I.P. 2015/16	\$ 4,736,380	\$ 184,000	\$ 2,830,000	\$ 1,323,000	\$ -	\$ 269,380	\$ 130,000



Town of Mansfield
Capital Improvements Program Narrative
FY 2016/17

Classification & Compensation Study - \$30,000

This appropriation will fund a classification and compensation study to review employee compensation and to provide updated job descriptions. The Town completed its last study in 2005 and best practices call for an analysis every 10 to 15 years. This study will also assist management in its review of a possible broad band pay plan system for non-union staff.

Fleet Vehicle – \$17,000

This appropriation will fund the replacement of a 2006 Ford Pickup truck with approximately 108,000 miles and increasing maintenance costs. This vehicle is assigned to the Department of Building and Housing Inspection.

Furniture & Fixtures - \$15,000

This appropriation will be used to replace older furniture in the Beck Municipal Building.

Police Service Consulting Assistance - \$60,000

This appropriation will be used for professional & technical services to assist with the Council's review and evaluation of options for police services.

Pool Cars - \$17,000

This appropriation will fund the replacement of a 2002 Honda Sedan. This vehicle is assigned as a pool car supporting a number of departments and has significant body and frame rust, which is a potential safety hazard.

Software - \$24,830

There are four components to this project. First, the appropriation will allow our permitting and code software (CSI) to be deployed to the Fire, and Planning and Development Departments. CSI enhances information access for the public through optional online filing, which provides the citizen the ability to check the status of an application and make payments at any time. It also maximizes staff's ability to update records in the field and work collaboratively across departments. Second, the appropriation will fund document management software to enhance public and staff access to records and data starting with the Planning and Development Department. The software will allow for quick retrieval of information through a variety of search options for the public and staff. It will also safely store records that will be readily accessible, while also reducing physical space needs. Third, the appropriation will complete the implementation of recruitment management software to best manage the hiring process and accompanying data.

Animal Shelter Building Repairs - \$2,000

This appropriation will fund the replacement of the hot water maker at the Mansfield Animal Shelter.

Community Center Building Repairs & Improvements - \$35,000

This appropriation will fund the second phase of the locker replacements; replace a water fountain; and replace flooring in the stairways.

Custodial Equipment - \$10,000

This appropriation will be used to replace outdated and broken equipment.

Day Care Building Repairs & Improvements - \$20,000

This appropriation will be used to replace interior carpeting that is well beyond its useful life.

Fire Stations Building Repairs & Improvements - \$60,000

This appropriation will be used at Station 107 to replace the well system and to replace the roof.

Historical Society Building Repairs - \$35,000

This appropriation will be used to remove an underground fuel tank that is close to its rated life. Funding will also cover the cost to install a propane tank and converting the system to gas.

Indoor Air Quality Testing - \$5,000

This appropriation will be used to establish an account to be used for air quality testing and to purchase testing equipment. This would also include duct work cleaning that should be completed on a regular basis.

Library Building Repairs & Improvements - \$45,000

This appropriation will fund the future local share of a Library Construction Grant through the Connecticut State Library. Planned renovations include the replacement of carpet throughout the building; circulation desk replacement; and reconfiguration of space.

Maintenance Projects - \$10,000

This appropriation will fund small projects and emergency repairs that come up throughout the year.

Park Building Repairs - \$12,000

This appropriation will be used to replace the well at the Southeast ball field.

Public Works Building Repairs & Improvements - \$65,000

This appropriation will be used to upgrade the well system and to replace the roof on the garage. Also included in this appropriation is funding to install insulation in the storage garage.

Roof Repairs – Town Buildings - \$15,000

This appropriation will fund minor roof maintenance throughout town buildings.

Security Improvements - \$10,000

This appropriation will be used to finish installation of security lighting at the parks and for additional lock enhancements and camera installations.

Town Hall Building Repairs & Improvements - \$25,000

This appropriation will be used to replace the hallway carpeting in the Beck Municipal Building that, due to age, has become a safety hazard in some places.

Work Trucks - \$70,000

This appropriation will fund the replacement of two fleet vehicles in Facilities Management. The first vehicle to be replaced is a small box truck that has severe frame issues and is not safe to travel long distances. The second vehicle to be replaced is a 25 year old service truck that needs numerous repairs and a new truck cab.

Facilities Study for Mansfield Schools - \$160,000

This appropriation will fund a comprehensive facility planning study for the Mansfield Public Schools. The study will look at the interior, exterior, HVAC, safety systems, and accessibility of the buildings, prioritizing the most critical issues, estimating project costs and potential grant opportunities. In addition, the firm will assist with community involvement and assessing future building needs based on current educational standards.

Mansfield Middle School Gym - \$873,000

This appropriation will fund the replacement of the gym floor, bleachers, large divider door, score board, wall mats, renovation of the boys and girls locker rooms, installation of a sound system, and air conditioning and duct work.

School Building Maintenance - \$200,000

This appropriation represents the fourth year of a five-year plan to address critical maintenance and infrastructure needs in the Mansfield Public Schools. This appropriation will fund preventative roof maintenance; upgrade a bathroom at Goodwin Elementary School as well as other school bathrooms; improvements to the ropes challenge course; and other routine items that may arise over the year. A portion of the appropriation will also be used to create a replacement reserve for the Vinton playground.

Vinton Boilers - \$450,000

This appropriation will replace the boiler system at Annie Vinton Elementary School. Both boilers are older than their recommended age and are due for replacement. Current boilers produce steam and the replacement boilers will be more energy efficient, lowering emissions and saving energy costs.

Personal Protective Equipment - \$15,000

This appropriation will fund the routine replacement of Personal Protective Equipment (PPE) replacement. PPE replacement for interior structural firefighters occurs on a five to ten-year cycle. This request maintains annual funding to replace a select number of PPE that has reached the end of its service life.

Replacement of 83MF - \$35,000

This appropriation will fund the replacement of a 2007 Ford Explorer with 89,000+ miles used by the Deputy Fire Marshal to conduct inspections and to respond to fires. Replacement is consistent with the department's effort to maintain its fleet. The replacement vehicle will satisfy the requirements of the fire prevention division and provide the opportunity to serve in an operational capacity, if needed.

Replacement of Ambulance 607 - \$245,000

This appropriation will be used to replace a 2008 GMC 4500 ambulance and is consistent with the Fire Department's plan to adjust to a four (4) year ambulance replacement cycle. The reliability of the ambulance fleet is critical to ensuring the department is able to respond to multiple and overlapping calls for service, support the EMS Duty Crew program, and control maintenance costs.

Replacement of SCBA - \$283,550

This appropriation includes federal grant funding of \$269,370 and the 5% local match of \$14,178 for the replacement of Self Contained Breathing Apparatus that is outdated and in need of replacement. The features available on SCBA today improve firefighter safety and provide for more effective communication between personnel.

Engineering CAD Upgrades - \$30,000

This appropriation will provide funds to support the CAD (Computer Assisted Drafting) systems in the Engineering office as well as some funds to further GIS (Geographical Information Systems) development within various Town departments.

Guiderails Improvements/Replacement - \$50,000

This appropriation will fund the replacement metal-beam guiderails and wooden guideposts along Town roadways.

Large Dump Trucks with Plows - \$200,000

This appropriation will be used to replace a 2001 International with 99,000 miles on it. In addition to the truck purchase, a new plow, salt distribution system and liquid salt tank will be purchased to outfit the truck for the winter months.

Medium Dump Trucks - \$47,000

This appropriation will fund the replacement of a 2000 Ford F450 with 124,000 miles that is used daily for tasks ranging from snow plowing to small hauling operations.

Pickup/Small Dump Trucks - \$25,000

This appropriation will be used to purchase a small pickup truck to assist with daily tasks such as trash pickup that does not require a heavy duty medium or large dump truck.

Ravine Road Improvements - \$110,000

This appropriation will fund the construction necessary to make the road safe to the traveling public. Construction will include guide rails, tree trimming and removal, drainage improvements, rock/ledge removal, gravel, signs, grates, and asphalt.

Road Drainage & MS4 Requirements - \$70,000

This appropriation will fund the purchase of drainage pipe, precast catch basins, inlet and underdrains needed in the regular course of responding to drainage maintenance and complaints along Town roads. This is the only source that pays for drainage materials for the department. Also included in this appropriation is funding for the Tier 1 permit required by the State DEEP. Under this new permit the Town will be required to do more than in the past, which may require contracting out the Town's storm water management plan.

Road Resurfacing - \$750,000

These funds will be used to resurface some Town roads as part of the Town's continuing road surface maintenance program. These funds also are used to purchase all the materials used by the DPW in patching roads (including unimproved roads), paving over trenches and leveling roads prior to resurfacing.

Transportation/Walkways per Town's Priority List - \$30,000

This appropriation will provide funds to assist in the design, inspection, maintenance, construction, and right-of-way purchases for various transportation facilities that are not auto-related, such as bus stops, priority walkways, and bikeways.

Trees - \$35,000

This appropriation will fund the removal of public trees that have become hazards and planting new Town trees.

Vac All Truck - \$11,000

This appropriation will fund the Town's participation in the State's Inter-town Capital Equipment Purchase Incentive (ICE) Program with Coventry. Coventry and Mansfield will purchase a new Vac All Truck (catch basin cleaner) to replace the one jointly purchased over 10 years ago. The State will fund 30% and Mansfield and Coventry would split the remainder equally (35% each) and continue to share use per current arrangement.

Invasive Control - \$14,000

This appropriation will be used for aquatic invasive control at Eagleville Lake, in partnership with the town of Coventry, and at Bicentennial Pond, if funds allow. In subsequent years as the infestation is better controlled, the cost may decrease.

Fitness Equipment - \$45,790

This appropriation will fund the replacement of exercise equipment that is beyond normal depreciation and life expectancy, and is scheduled to be upgraded.

Park Improvements - \$20,000

This appropriation will fund an ongoing effort to replace and repair equipment and facilities throughout the Town's park system. This includes playground equipment, picnic areas, ball fields, trail network, signage, fencing, etc. Facility repair and equipment replacement helps to limit the Town's potential liability and provides for safe areas for use by the public. This fund is also used to supplement any outside funding sources such as grants and donations that are obtained to make improvements to the Town's parks.

Playscapes and Playground Surfacing - \$40,000

This appropriation will continue building reserves necessary for the replacement of all Town playscapes. Also, included in this appropriation are funds to replace the specialty engineered wood fiber at the Town's playscapes with a poured in place rubber material to meet current safety standards.

Storrs Center Reserve - \$260,000

This appropriation will be used for one time expenditures such as building inspection and fire prevention personnel for Storrs Center projects. In addition, this year the Storrs Center Reserve account will begin paying off the infrastructure overruns on the project.

Technology Infrastructure - \$200,000

This appropriation represents the fourth year of a five-year plan to address critical technology infrastructure needs in the Mansfield Public Schools. Planned projects include critical network infrastructure updates in our local schools including 10-gigabit data and telephone network backbone components, UPS electrical updates, and selected switches, servers, and wireless end points. Additionally, the funding will be used to improve school security and school communications needs, and to implement overdue equipment replacement cycle needs at the four schools.

Town of Mansfield
Impact of 2016/17 Capital Expenditures
Future Operating Budgets

The Town's capital expenditures largely consist of maintenance items or recurring replacements and are intended to extend the useful life of a building or facility, or to reduce operating costs by replacing equipment or rolling stock on a scheduled basis.

Town of Mansfield
 Capital Projects Committee
 Proposed Five Year Capital Improvements Program
 2016/17 - 2020/21

	Adopted 2015/16	Proposed 2016/17	Future Projects			
			2017/18	2018/19	2019/20	2020/21
SUMMARY OF PROGRAMS						
General Government	\$ 91,100	\$ 163,830	\$ 108,000	\$ 99,000	\$ 99,000	\$ 99,000
Public Safety	130,000	578,550	787,000	967,000	661,000	612,000
Public Works	969,000	1,358,000	1,425,000	1,629,000	1,817,000	2,008,000
Facilities Management	616,700	2,102,000	750,000	750,000	789,500	729,000
Community Services	88,500	119,790	151,090	139,660	125,700	134,440
Community Development	228,600	260,000	500,000	500,000	500,000	300,000
Education	200,000	200,000	200,000	-	-	-
Total CIP	\$ 2,323,900	\$ 4,782,170	\$ 3,921,090	\$ 4,084,660	\$ 3,992,200	\$ 3,882,440

SUGGESTED SOURCES OF FINANCING

Bonds	\$ -	\$ 1,323,000	\$ -	\$ -	\$ -	\$ -
Capital Nonrecurring Reserve Fund	1,900,470	2,830,000	3,550,000	3,711,000	3,632,500	3,514,000
Federal & State Grants	-	269,380	-	-	-	-
LOCIP Grant	184,930	184,000	184,000	184,000	184,000	184,000
Town Aid Road Fund	130,000	130,000	130,000	130,000	130,000	130,000
Other	108,500	45,790	57,090	59,660	45,700	54,440
Total Financing	\$ 2,323,900	\$ 4,782,170	\$ 3,921,090	\$ 4,084,660	\$ 3,992,200	\$ 3,882,440

Town of Mansfield
Proposed Five Year Capital Improvement Program
2017/2021

	Adopted		Future Projects			
	2015/2016	2016/17	2017/18	2018/19	2019/20	2020/21
GENERAL GOVERNMENT						
Fleet Vehicle	26,100	17,000	18,000	24,000	24,000	24,000
Classification & Compensation Study		30,000				
Furniture	15,000	15,000	15,000	15,000	15,000	15,000
Performance Eval Software			15,000			
Police Service Consulting Assistance		60,000				
Pool Cars		17,000	20,000	20,000	20,000	20,000
Software	45,000	24,830	30,000	30,000	30,000	30,000
Strategic Planning	- 5,000		10,000	10,000	10,000	10,000
Total Gen. Govt.	91,100	163,830	108,000	99,000	99,000	99,000
PUBLIC SAFETY						
Fire and Emergency Services						
Automated Chest Compression Units	48,000	-				
Commerical Gear Washer	8,000	-				
Communication Equipment	6,000		18,000	10,000	10,000	10,000
Fire Hose	10,000	-	-	-	-	-
Fire Ponds	6,000		14,000	7,000	8,000	10,000
Vehicle Exhaust Systems			100,000			
Personal Protective Equipment	20,000	15,000	15,000	15,000	16,000	20,000
Personnel Accountability System	12,000	-				
Replacement of 83MF		35,000	-			
Replacement of Service 107					60,000	
Replacement of Ambulance 607		245,000		60,000	90,000	100,000
Replacement of ET 107		-	300,000	300,000		
Replacement of Squad 207				200,000	200,000	250,000
Replacement of Rescue 107			250,000	250,000	165,000	
Replacement of Rescue 207				50,000	50,000	100,000
Replacement of SCBA		283,550	90,000	50,000	50,000	110,000
Rescue Equipment	20,000	-			-	
Thermal Imager Cameras					12,000	12,000
Animal Control						
Van				25,000	-	
Total Public Safety	130,000	578,550	787,000	967,000	661,000	612,000
PUBLIC WORKS						
Backhoe				60,000	75,000	
Bridges					5,000	5,000
Bucket Loader			98,000	122,000	110,000	110,000
Engineering CAD Upgrades		30,000	20,000	25,000	25,000	25,000
Engineering File Storage				10,000		
Engineering Plotter/Scanner/Copier						10,000
Engineering Project Software						25,000
Fueling Station	500,000					
Guiderails Imprv/Replace		50,000	25,000	25,000	25,000	50,000
Large Dump Trucks w/plows		200,000	200,000	100,000	105,000	105,000

Town of Mansfield
Proposed Five Year Capital Improvement Program
2017/2021

	Adopted		Future Projects			
	2015/2016	2016/17	2017/18	2018/19	2019/20	2020/21
PUBLIC WORKS continued						
Medium Dump Trucks		47,000	47,000	47,000	47,000	
Mini Excavator				50,000		
Mowers and Attachments				30,000		
Pickup/small dump trucks		25,000	25,000	25,000	25,000	33,000
Road Drainage & MS4 Requirements		70,000	60,000	60,000	60,000	70,000
Road Grader					50,000	50,000
Road/Resurfacing	373,000	750,000	900,000	1,000,000	1,100,000	1,300,000
Scale for Front End Loader	10,000					
Storrs Center Equipment	10,000					
Street Sweeper					100,000	100,000
Transp/Walkways per Town's Priority listing		30,000	25,000	50,000	60,000	75,000
Trees	6,000	35,000	25,000	25,000	30,000	50,000
Vac all Truck (share with Coventry)	70,000	11,000				
Wincog Equipment - Regional						
Ravine Road Improvements		110,000				
Total Public Works	969,000	1,358,000	1,425,000	1,629,000	1,817,000	2,008,000
FACILITIES MANAGEMENT						
Town						
Animal Shelter Building Repairs		2,000	20,000	35,000	5,000	5,000
Comm Center Building Repairs	39,200	35,000	45,000	45,000	50,000	45,000
Custodial Equipment		10,000	8,000	10,000	10,000	10,000
Daycare Building Repairs	20,000	20,000	30,000	60,000	50,000	50,000
Emergency Generators			15,000	20,000	25,000	25,000
Fire Stations Building Repairs	100,000	60,000	45,000	80,000	35,000	35,000
Historical Society Building Repairs		35,000	55,000	-	100,000	50,000
Indoor Air Quality testing		5,000	5,000	5,000	5,000	5,000
Joshua's Trust Building Repairs	2,500		35,000	50,000	-	-
Library Building Repairs	100,000	45,000	25,000	100,000	100,000	55,000
Maintenance Projects	15,000	10,000	10,000	10,000	34,500	69,000
Oil Tank Removal			15,000	15,000	20,000	20,000
Park Buildings		12,000	12,000	12,000	15,000	5,000
Public Works Building Repairs	10,000	65,000	20,000	20,000	20,000	20,000
Repairs to loading dock and equipment					10,000	25,000
Replacement forklift				7,000		30,000
Roof Repairs - All Town Buildings	30,000	15,000	10,000	10,000	15,000	15,000
Scissor Lifts			35,000			
Security Improvements		10,000	10,000	10,000	10,000	10,000
Senior Center Building Repairs	40,000	-	20,000	45,000	53,000	50,000
Storage Upgrades			-	10,000		
Town Hall Building Repairs	60,000	25,000	40,000	62,000	62,000	60,000
Tractor Replacement			20,000		20,000	
Vault Climate Control						
Work Trucks		70,000	75,000	30,000	35,000	30,000
Education						
Facilities Study		160,000				
MMS Gym		873,000				
School Building Maintenance	200,000	200,000	200,000	114,000	115,000	115,000
Vinton Boiler		450,000				
Total Facilities Management	616,700	2,102,000	750,000	750,000	789,500	729,000

**Town of Mansfield
Proposed Five Year Capital Improvement Program
2017/2021**

	Adopted		Future Projects			
	2015/2016	2016/17	2017/18	2018/19	2019/20	2020/21
COMMUNITY SERVICES						
Community Center - Misc/Other						
Fitness - Equipment	43,500	45,790	57,090	59,660	45,700	54,440
Invasive Control	-	14,000	14,000			
Park Improvements	20,000	20,000	30,000	30,000	30,000	30,000
Playscapes and Playground Surfacing	5,000	40,000	50,000	50,000	50,000	50,000
Senior Center - Chairs	20,000					
Total Community Services	88,500	119,790	151,090	139,660	125,700	134,440
COMMUNITY DEVELOPMENT						
Storrs Center Reserve	228,600	260,000	500,000	500,000	500,000	300,000
Total Community Development	228,600	260,000	500,000	500,000	500,000	300,000
EDUCATION						
Technology Infrastructure	200,000	200,000	200,000	-	-	-
Total Education	200,000	200,000	200,000	-	-	-
TOTAL C.I.P.	\$ 2,323,900	\$ 4,782,170	\$ 3,921,090	\$ 4,084,660	\$ 3,992,200	\$ 3,882,440
Funding:						
Bonds	-	1,323,000				
CNR Fund	1,671,870	2,455,000	3,050,000	3,211,000	3,132,500	3,214,000
CNR Fund - Storrs Center Reserve	228,600	375,000	500,000	500,000	500,000	300,000
Federal and State Grants		269,380				
LoCIP	184,930	184,000	184,000	184,000	184,000	184,000
Town Aid Road Fund	130,000	130,000	130,000	130,000	130,000	130,000
Other Funds - P & R	43,500	45,790	57,090	59,660	45,700	54,440
Other Funds - Storrs Ctr Reserve	65,000					
TOTAL FUNDING:	\$ 2,323,900	\$ 4,782,170	\$ 3,921,090	\$ 4,084,660	\$ 3,992,200	\$ 3,882,440

MEMORANDUM

Town of Mansfield
Town Manager's Office
4 So. Eagleville Rd., Mansfield, CT 06268
860-429-3336
Hartmw@mansfieldct.org



To: Planning and Zoning Commission
CC: Linda Painter, Director of Planning and Development
From: Matt Hart, Town Manager
Date: April 28, 2016
Re: Referral: 2015 Recreational Trails Program Grant-Universal Access Trail Bicentennial Pond Contract

Please see the attached information regarding the above captioned matter. Please review and comment on the proposal, pursuant to your authority under Connecticut General Statutes Section 8-24.

Your assistance with this matter is greatly appreciated.



Department of Planning and Development

Date: April 27, 2016
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director
Subject: 8-24 Referral: Schoolhouse Brook Park Universal Access Trail

The Town of Mansfield has received a \$253,471 grant to construct a universal access trail at the Bicentennial Pond Recreation Area at Schoolhouse Brook Park. The project will improve wheelchair accessibility, trail linkages, and provide additional opportunities for education and physical activity. While there is currently a wheelchair accessible path to the beach and swimming area, there is no way for someone in a wheelchair to travel deeper into the park. The proposed project would create a 7/10 mile pond loop with a compacted crushed stone surface accessible to wheelchairs. The project will provide connections to 8.54 miles of existing trails and create new amenities including interpretive signage, an outdoor ecology classroom area, two fishing platforms, a viewing area to showcase the dam and pond, a better defined trail entrance from the Middle School and Bicentennial Pond parking lot, and a moderately sloped connection from the pond to the playground.

The following information is provided for the PZC's consideration.

- The proposed addition of a universal access trail is consistent with the overall purpose and use of the Schoolhouse Brook/Bicentennial Pond Recreation Area.
- The property is designated as Conservation/Recreation/Managed Resource Area in the Mansfield Tomorrow Plan of Conservation and Development (POCD)
- The proposed trail is consistent with the following POCD goals, strategies and actions:
 - **Goal 3.3:** Mansfield's park and recreation system, including natural and active recreation provides access to residents and meets the needs of the population.
 - Strategy B: Continue to develop a safe network of walking and bicycle trails to improve connectivity and provide opportunities for outdoor recreation and alternative transportation.
 - Action 3: Identify and implement universal access improvements to expand opportunities to residents with physical disabilities. (It is noted under this action that "Bicentennial Pond is a high priority as plans have been completed and permits obtained.")
 - **Goal 5.5:** Mansfield maintains high quality public facilities that support town goals.
 - Strategy A: Use physical design to foster community interaction.
 - Action 3: Encourage use of universal design principles in design of both public and private spaces

Summary/Recommendation

It is recommended **that the PZC notify the Town Council that the proposed universal access trail at Schoolhouse Brook Park Bicentennial Pond Recreation Area is consistent with the Mansfield Tomorrow Plan of Conservation and Development, particularly Goal 3.3, Strategy B, Action 3 and Goal 5.5, Strategy A, Action 3.**

COST ZONES

1 Main Loop - Byrons Trail



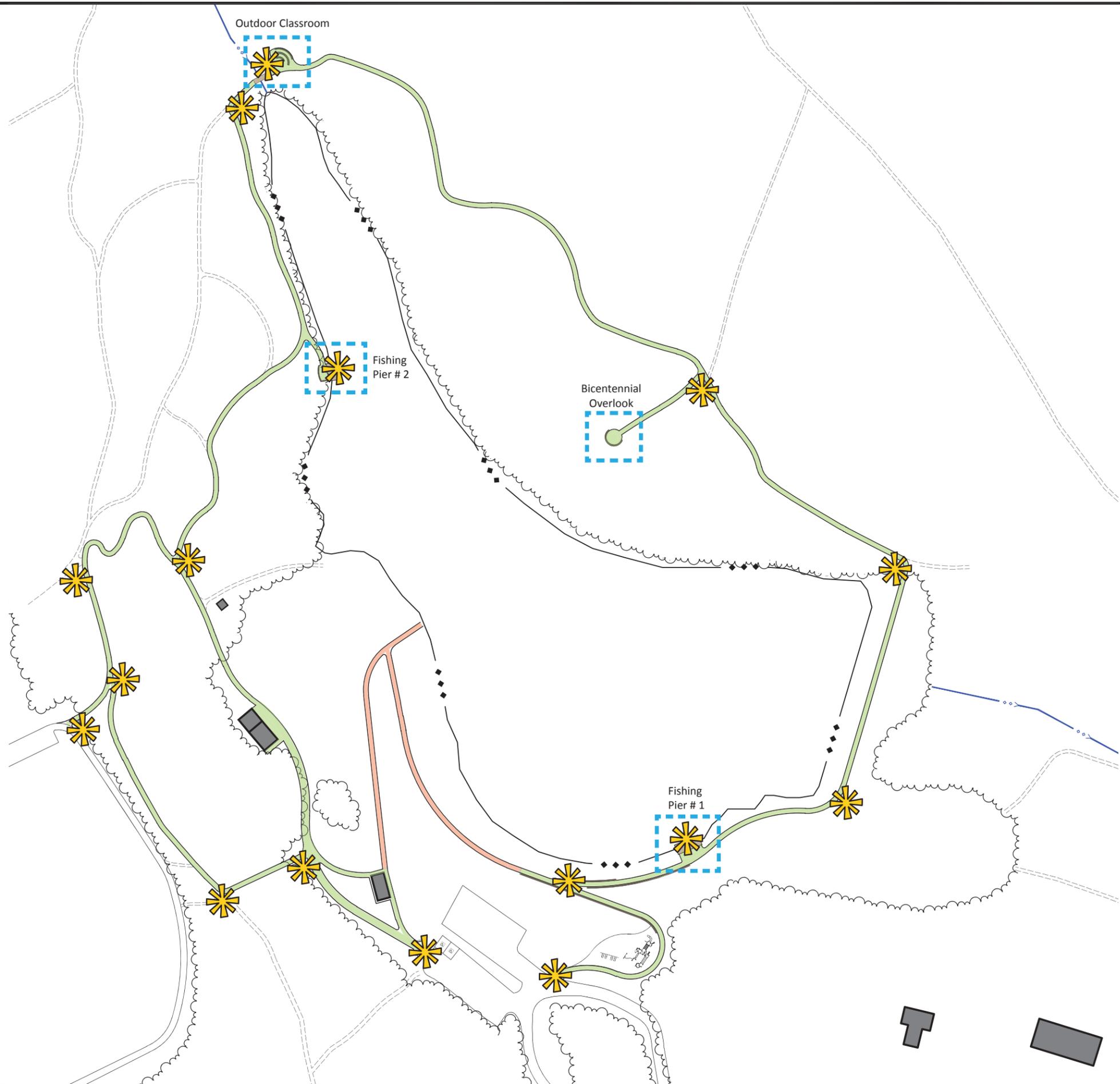
2 Improved Beach Access



3 Signage



4 Gathering/Educational Areas

Universal Access Trail Around Bicentennial Pond

Mansfield, CT

LANDSCAPE
**KENT+
 FROST**
ARCHITECTURE
 1 HIGH STREET
 MYSTIC, CT 06355
 860.572.0784
 kentfrost.com

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 Eastern Connecticut Office
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 Web: www.stadiaeng.com
 E-Mail: info@stadiaeng.com

LEGEND:

-  Proposed Trail
-  Existing Trail
-  Existing Treeline
-  Existing Stream

NOT ISSUED FOR CONSTRUCTION

Revisions	Date
1.	
2.	
3.	

 NORTH



Cost Zones

Scale	1" = 60'
Date	27 March 2013
K+F Project No.	2012022
Drawing No.	